

Public Bridleway

NEWTON ON THE MOOR & SWARLAND NEIGHBOURHOOD PLAN

**Pre-submission Draft Plan
September 2025**



Foreword

Newton on the Moor and Swarland Parish Council is pleased to present this Pre-submission Draft Neighbourhood Development Plan.

The Parish Council established a Neighbourhood Plan Steering Group in April 2023, made up of people who live within the Parish. They come from a variety of backgrounds and collectively bring many years of experience in diverse fields. Their expertise, commitment, and enthusiasm have made the process a genuine joy. The full list of all those who have contributed appears at the end of the Plan. This Plan is the culmination of their work.

We all believe that this Parish is a remarkable place, and the factors contributing to this include the immense warmth and welcome offered within the community, the beauty of the environment and the rich history of the Parish.

What we have in Newton on the Moor and Swarland Parish is indeed special and in preparing this Pre-submission Draft Neighbourhood Development Plan, the team have explored the underlying reasons for this.

Our engagement with the community has revealed the strong passion that exists for preserving and enhancing everything that we all enjoy and value here.

The Parish Council and Neighbourhood Plan Steering Group all feel very privileged to live here and even more privileged to have had the opportunity and the trust of the community to prepare this Pre-submission Draft Neighbourhood Development Plan on their behalf.

Chair of Steering Group

Chair of the Parish Council

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1.0 Introduction

- 1.1 Neighbourhood Planning is a right for communities that was introduced through the Localism Act 2011. Neighbourhood Plans are usually community led and prepared on behalf of the Parish Council and that is the case for the Neighbourhood Area of Newton on the Moor and Swarland.
- 1.2 Neighbourhood Plans can deal with all non-strategic matters related to the development and spatial planning of an area, including matters such as housing, matters related to the natural environment, employment, heritage, transport and tourism.
- 1.3 Policies within Neighbourhood Plans cannot block development or support less development than already allowed in the Statutory Development Plan.
- 1.4 A Neighbourhood Plan can shape where that development will go and what it can look like. It can also cover other issues which are not related to the use and development of land but these issues will not be dealt with by planning policies. Instead, they will be referred to as 'community actions'. However, the main purpose of a Neighbourhood Plan is to set policies for the use and development of land.
- 1.5 A Neighbourhood Plan, once made, is part of the development plan for the area. It must be prepared in accordance with legal requirements. The way in which Neighbourhood Plans are prepared and the policies they contain are tested by an independent examiner who assesses whether the plan meets the 'basic conditions' to ensure they comply with the relevant legislation set out in the Neighbourhood Planning Regulations (2012) (as amended).
- 1.6 Neighbourhood plans must:
 - Have regard to national planning policy and guidance.
 - Be in general conformity with the strategic policies of the Development Plan.
 - Contribute to the achievement of sustainable development.
 - Be compatible with legal obligations.
- 1.7 National planning policy and guidance is set out in the National Planning Policy Framework (NPPF) and National Planning Practice Guidance (NPPG) respectively.
- 1.8 The development plan for Northumberland is the Northumberland Local Plan (adopted March 2022) ('the Local Plan'). The Newton on the Moor and Swarland Neighbourhood Plan ('the Plan') has been informed by both the adopted Local Plan and the associated evidence base.
- 1.9 The purpose of the planning system is to help achieve sustainable development as defined by the NPPF. This specifies that the presumption in favour of sustainable development should be the basis for every plan and every planning decision. In brief, 'sustainable development' is about development which delivers economic, environmental, and social progress for this and future generations.

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- 1.10 Newton on the Moor and Swarland Parish Council agreed to prepare a neighbourhood plan ('the Plan') in March 2023. Several volunteers came forward and they, along with some Parish Councillors, formed a Steering Group with delegated authority to prepare the Plan. The first meeting of the Steering Group took place in April 2023. Their work has been supported by officers from Northumberland County Council and consultants from AECOM, the latter being funded by a government grant.
- 1.11 The Parish, the extent of which is shown on the Policies Map, was designated as the Newton on the Moor and Swarland Neighbourhood Area for the purposes of neighbourhood planning by Northumberland County Council on 5 May 2023.

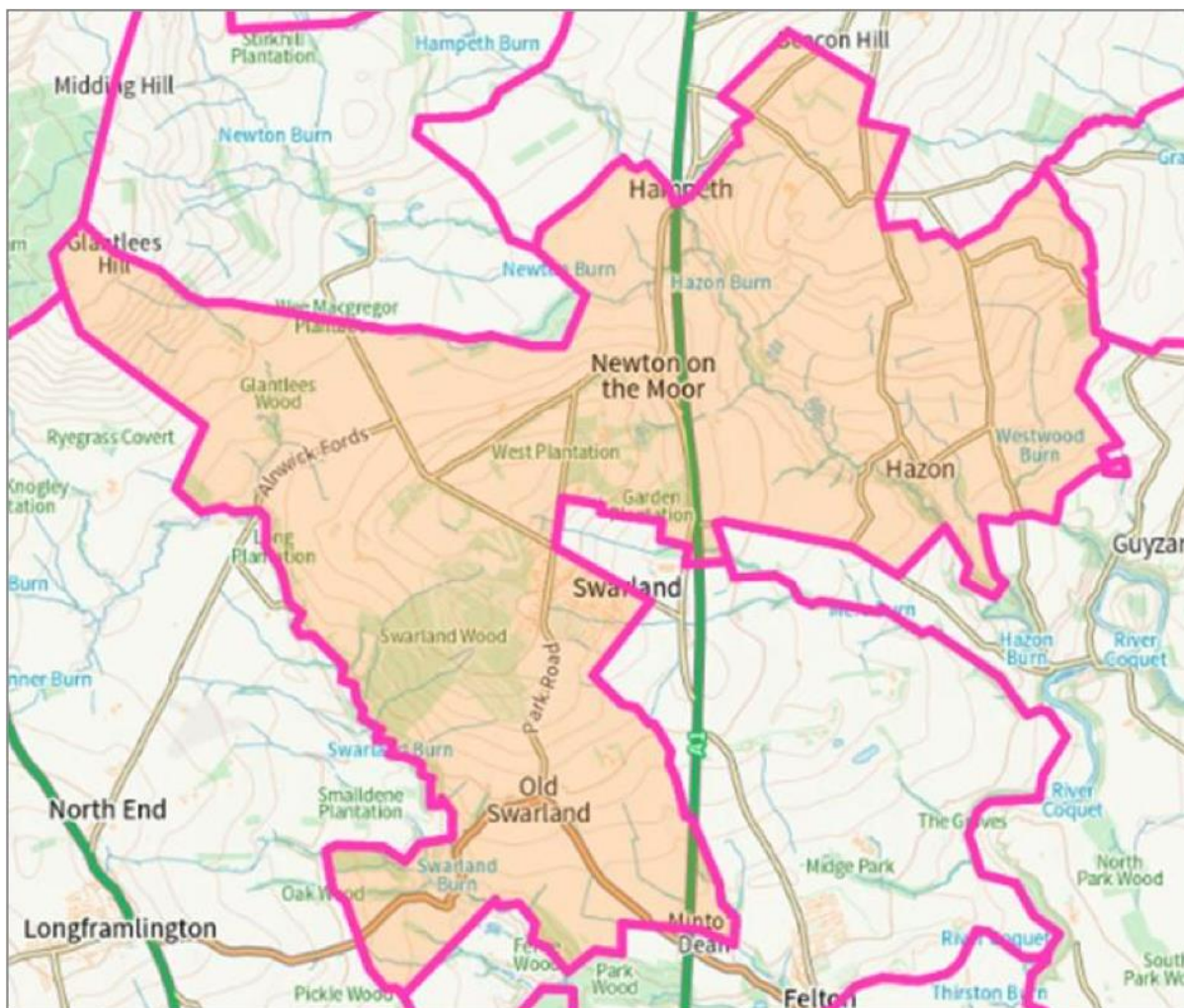


Figure 1: Map of Newton on the Moor and Swarland Neighbourhood Area

2.0 Consultation

- 2.1 Several early engagement activities have taken place. In July 2023 - Newton on the Moor coffee morning and attendance at the September 2023 Swarland Show to raise awareness of the neighbourhood planning process and engage with members of the Neighbourhood Area. In November 2023 two drop-in sessions were held to raise awareness of the opportunities presented by neighbourhood planning and enable the community to identify issues for the Plan. In January 2024 a questionnaire was delivered to all addresses to seek feedback on a number of key issues. Articles in the

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bimonthly Parish magazine 'The Column', on the community Facebook page and on the Parish Council website have ensured that the community has been kept up to date on the progress of the Plan.

- 2.2 The early engagement and a significant amount of evidence work, including on design and housing needs, have all assisted the Steering Group in the preparation of this Pre-submission Draft Plan.
- 2.3 The Plan identifies:
- The context in which the Plan has been prepared. An overview of Newton on the Moor and Swarland Neighbourhood Area and the opportunities and challenges for the Plan to address.
 - A positive vision and outcomes for the future of the Newton on the Moor and Swarland Neighbourhood Area.
 - How the vision of the Plan will be delivered through planning policies i.e., the policies that will be used to determine planning applications within the Neighbourhood area; providing a framework for sustainable development.
 - How the vision of the Plan will be delivered through community actions i.e. measures which are intended to encourage action and influence decisions taken by relevant bodies.
- 2.4 The Plan covers the period to 2036. This aligns with the Local Plan. The Plan once made, will form part of the statutory development plan for the Newton on the Moor and Swarland Neighbourhood Area. It will sit alongside the Northumberland Local Plan and provide locally specific policies which will be used to determine planning applications in the Neighbourhood Area.
- 2.5 As required by Regulation 14 of the Neighbourhood Planning Regulations (2012) (as amended) this Pre-submission Draft Plan is the subject of a formal consultation which will last 6 weeks beginning on Wednesday 17th September 2025 and ending at midnight on Saturday 1st November 2025.
- 2.6 The Plan and its supporting documents are available on the Parish Council website. <https://newtonswarlandpc.org.uk/neighbourhood-planning-development/>
- 2.7 Consultation events will be held, and printed copies of the Plan are available to view at the following locations:
- The Jubilee Hall, Newton on the Moor Swarland Village Hall (open day from 10am – 12 noon on 18th October 2025)
 - Nelson's at the Park, Swarland
 - Swarland Village Hall (open day consultation from 10 am until noon on 4th October 2025)
- 2.8 Following this stage of consultation, all comments received will be considered and the Plan will be revised. Once the Plan has been revised it will be formally submitted to

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Northumberland County Council, who will then publicise the Plan for a further 6-week period, during which comments will be invited. All comments will be forwarded to an Independent Examiner who will examine the Plan and determine whether it meets the 'basic conditions' as set out in the relevant legislation.

- 2.9 Once the Plan has been examined, the Examiner will issue a report confirming the outcome of the examination. If the Plan passes the examination, it will proceed to a Referendum. The County Council will then arrange for a Neighbourhood Development Plan Referendum to take place. If there is a majority 'yes' vote, then the Plan will become 'made' (brought into legal force) as part of the statutory development plan for the area.

3.0 History of the Neighbourhood Area

Civil and Ecclesiastical Boundaries

- 3.1 In 1894, the civil parishes of Hazon and Hartlaw, Newton-the-Moor, Whittle, Greens and Glantlees and Swarland were created. There are two ecclesiastical parishes within the civil parish: Shilbottle, which includes Newton on the Moor, and Felton, which includes Swarland.
- 3.2 In 1955 a number of parishes were merged and the Newton on the Moor parish was created with its own Parish Council. The name was changed in the late 1980s to the current Newton on the Moor and Swarland Parish Council.
- 3.3 Geographically, the parish boundaries meet with those of Longframlington, Denwick, Shilbottle and Felton, following the eighteenth-century ownership lines of the Enclosure Award of 1754.
- 3.4 Evidence shows that people have lived and worked in the area since Neolithic times and through the Bronze and Iron Ages. By medieval times the small hamlets and villages of Hartlaw, Swarland and Newton on the Moor became established and tower houses were built to protect the occupants at the time of unrest with the Scots.
- 3.5 The 16th and 17th centuries was a time of feuds between border families, known as Reivers. Defensive farmhouses, known as Bastles, were built. Once life became more settled, houses were altered or built in a less protective style.
- 3.6 In later Georgian times the natural geology of the land was quarried for stone and lime. In the late 1700s and early 1800s wealthy industrialists from Tyneside began to build country retreats, planting trees and landscaping the area.
- 3.7 The 19th century saw the area change again with coal mines sunk, and quarries and wagon ways punctuating the landscape.
- 3.8 A full account of the rich history of the Neighbourhood Area can be found in the History of the Parish Background Document.

Swarland

- 3.9 Ownership of this area can be traced back to the 14th century. The area attracted wealthy gentlemen who built country estates including Swarland Hall and Park in 1741.

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This was later bought by Alexander Davidson, Admiral Lord Nelson's agent.

- 3.10 In 1935 Commander Clare Vyner from Fountains Abbey purchased the remains of the hall. It became a social experiment for the unemployed of Tyneside who were moved to the area and given land to build their own homes and to cultivate the land. Many of the original properties still exist and some are Grade II listed. By the 1970s The Fountains Abbey Trust was wound up and the paddocks of the original small holdings sold off to finance construction of the settlement roads.
- 3.11 The layout of the village is reflected in the original settlement and the names of the roads echo its history. More detail is contained in the policy section, to explain Policy 1, which refers specifically to Swarland.

Newton on the Moor

- 3.12 The village can be traced back to the 11th century, and it is believed that the ruins of a medieval village still exist. The layout and appearance of the present village is a result of Victorian design by Shalcross Widdrington. The village was sold in 1957 and was designated a conservation area in the 1970s.
- 3.13 Several buildings are grade II listed. The Conservation Area boundary was reviewed (and reduced) in 2011. The village has a relatively tightly drawn settlement boundary around it, and there is little scope for development other than conversions and/or infill.

Hazon



Figure 2: Hazon House

- 3.14 There is limited documented history around the hamlet of Hazon. Evidence suggests that the land was being used in Neolithic times, with stone axes being recovered in the 1950s. After the unsettling medieval period landowners began to build fewer defensive houses, and around 1684 Hazon House was built as we know it today, and is now Grade II listed with Historic England

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- 3.15 Today Hazon is a hamlet of twelve dwellings. There is still evidence of ridge and furrow farming and areas of ancient woodland. Hazon is in the open countryside for planning purposes and therefore does not have a settlement boundary.

Hartlaw

- 3.16 In 1971 the remains of a medieval village were discovered at Hartlaw, although very little remains today. The hamlet is centred around the late 17th century Hartlaw Manor. Two cottages and the garden and paddock wall are listed as Grade II with Historic England.
- 3.17 Like Hazon, Hartlaw is in the open countryside, and does not have a settlement boundary.



Figure 3: Row of cottages in Hartlaw

4.0 Our Vision for the Neighbourhood Area and The Plan Objectives

4.1 Following on from a review of the Census Data, the informal consultation and the responses to the questionnaire delivered to every home in the Neighbourhood Area, it is clear that the following are considered to be positive features of the area:

- Access to the countryside
- Friendly and safe environment
- Rural character
- Open and green spaces
- Local wildlife and habitats
- Sense of community
- Social facilities
- Location: access to main road network, towns and schooling

4.2 We were able to identify key issues:

- The lack of public transport
- Poor road infrastructure and safety at specific road junctions
- Pedestrian safety
- Lack of cycle paths, footpaths and bridleways
- The increasing percentage of second homes
- The size of, and issues arising from the Percy Wood Holiday Park site
- Whether any new development is needed in the Neighbourhood Area beyond the sites already identified by Northumberland County Council
- The majority of people: do not wish to see any larger properties with 3 + bedrooms built, do think there is a need for affordable houses especially for people with local connections, and do see the need for smaller properties with 1 or 2 bedrooms

4.3 In considering any new development the majority wish to:

- Protect and preserve the environment
- Ensure that steps are taken to mitigate climate change
- Oppose locating new development outside the settlement boundaries on greenfield sites
- Agree to development within the settlement boundary on brownfield sites or by the

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conversion of existing properties or agricultural buildings

- Protect heritage assets and ensure that they are maintained and enhanced
- Incorporate green space and landscaping
- Be sympathetic to the surrounding countryside
- Ensure buildings are of sustainable design and energy efficient, and of a height and scale proportionate to existing buildings
- Ensure building respects and preserves historic landmarks and has natural hedgerow/hedging at boundaries
- Satisfies all the requirements of TRA1, TRA2 and TRA3 of the Local Plan

4.4 As planning policies in the Neighbourhood Plan can only cover land-use planning matters, it is important to note here that the informal consultation and responses to the questionnaires delivered to all homes in the Neighbourhood Area also highlighted other matters where action needs to be taken, which may not be covered by planning policies. These are set out in the Community Actions in Appendix D to the Plan but are not planning policies.

4.5 The extensive consultation that took place led to the following vision statement being agreed by Newton on the Moor and Swarland Parish Council.

Vision Statement

We will take opportunities to improve the natural and built environment, our communities and the lives of everyone in the Neighbourhood Area whilst preserving the distinctiveness of the settlements of Swarland and Newton on the Moor, and the hamlets of Hazon and Hartlaw, and maintain the beautiful rural and architectural environment of the Neighbourhood Area.

4.6 To deliver our Vision, the following objectives have been identified:

Objective 1 - The Natural Environment

4.7 To protect and enhance the spaces that are important to the community and the character of the area, conserve areas of green infrastructure and biodiversity and conserve and improve important views from within the Neighbourhood Area.

Objective 2 - The Built Environment

4.8 To identify and conserve the many heritage assets of the Neighbourhood Area and ensure that any new development respects the character of the settlements within the Neighbourhood Area and delivers high quality design.

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4.9 To promote sustainability and adaptation to climate change.

Objective 3 - Vibrant and Thriving Communities

4.10 To build upon the strong sense of community across the Neighbourhood Area by retaining and facilitating improvements to important community facilities, recreational areas and services.

Objective 4 - Tourism

4.11 To ensure that tourism development does not result in harm to the natural and built environment as well as residential amenity, and that necessary improvements to infrastructure such as access, road infrastructure and drainage are included in proposals.

5.0 Planning Policies

- 5.1 The NPPF explains that the purpose of the planning system is to contribute to the achievement of sustainable development. It highlights three overarching objectives: economic; social and environmental. The requirement for the planning system to meet the challenges of climate change is also identified.
- 5.2 The NPPF stresses the need to shape places in ways which contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience, encourage the reuse of existing resources, and support renewable and low carbon energy. Planning policies are therefore required to take a proactive approach to mitigating and adapting to climate change, including considering the long-term implications of flood risk.
- 5.3 Sustainable development therefore underpins all of the policies in this Plan and it reflects the aspirations of the local people to have a vibrant community that is growing and evolving over the years, valuing our heritage and our past but not standing still. However, sustainable development is not just about new housing or other premises in the narrow sense, it is also about creating well designed places that can improve quality of life.

The Plan must be read as a whole document with each policy read alongside all others that are relevant. Accordingly, the Plan's policies contain only limited cross-referencing, although, in some cases, a specific cross-reference may be relied upon for clarification of the particular policy.

Explanatory text that precedes each policy, while not part of the Policy, is relevant to the Policy to which it relates and how it is to be interpreted.

Policy 1: Sustainable Development in Swarland

- 5.4 Consultation with the community has generally indicated support for retaining the existing settlement boundaries for Newton on the Moor and Swarland which are set out in the Local Plan. The smaller hamlets of Hazon and Hartlaw do not have settlement boundaries and are hamlets in the open countryside. In these areas, the relevant Local Plan policies will apply.
- 5.5 This policy refines Local Plan policies relating to landscape by identifying at a local scale, key landscape and heritage-related attributes that form an essential part of the character of the village of Swarland.
- 5.6 Policy STP1 of the Local Plan confirms that Swarland is a Service Village and as such will “provide for a proportionate level of housing.” By reference to STP1 of the Local Plan, settlement boundaries for the villages of Newton on the Moor and Swarland should guide decision makers as to the acceptability or otherwise of development within and beyond those boundaries. Policy 3 refers to Newton on the Moor.
- 5.7 Policy HOU3 and Table 7 of the Development Plan show that the housing requirement for the North Area has already been met and exceeded by 450 properties. As such, housing allocations will not be made in this Neighbourhood Plan but sustainable development within the settlement boundaries that complies with policies in the development plan will be supported when it comes forward.
- 5.8 The Design Code (AECOM 2025) (‘the Design Code’) which was commissioned as part of the work for the Plan, provides an analysis of the characteristics of the Neighbourhood Area and sets out practical design approaches to show how future developments can preserve and enhance local distinctiveness. A full copy of the Design Code can be found in Appendix C.
- 5.9 Policies in this plan support proposals for new development which is in line with best practice set out in the Design Code. A key element of good design is engagement. The checklist within the Design Code highlights the importance of the need for developers to engage with the Parish Council as well as Northumberland County Council before planning applications are submitted.
- 5.10 The Design Code highlights 5 character areas with distinctive attributes in Swarland. The policy seeks to clarify what will be expected for proposals for development in each of these areas. Policy 2 also seeks to ensure that the western edge of Swarland is protected from encroachment of development of the caravan park, which is important for the amenity of residents in Swarland, as well as for future occupiers of the caravan park.
- 5.11 Swarland is characterised by its woodland and vistas across to the coast. It is a relatively young settlement (see maps below) having been developed originally in the 1930s on open farmland as a philanthropic project by the Vyner family of Fountains Abbey and Studley Royal to help disadvantaged men and boys from deprived areas of Tyneside.

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- 5.12 The golf course and the driving range are of more recent origin, having been created in the 1990s. However, the aerial photographs and maps illustrate that they were developed on land that was historically open and at least some of the historic field boundaries appear to have been incorporated as landscape features in the golf course. While some of the early open enclosures have been planted to woodland, the layout of the leisure complex known as the Percy Wood Holiday Park (derived from the woodland that pre-existed it) and the golf course respects the historic landscape character and field pattern. Although the landscape was never designated, it has a well established, mature and locally distinctive character and appearance which has changed little over the last 200 years.

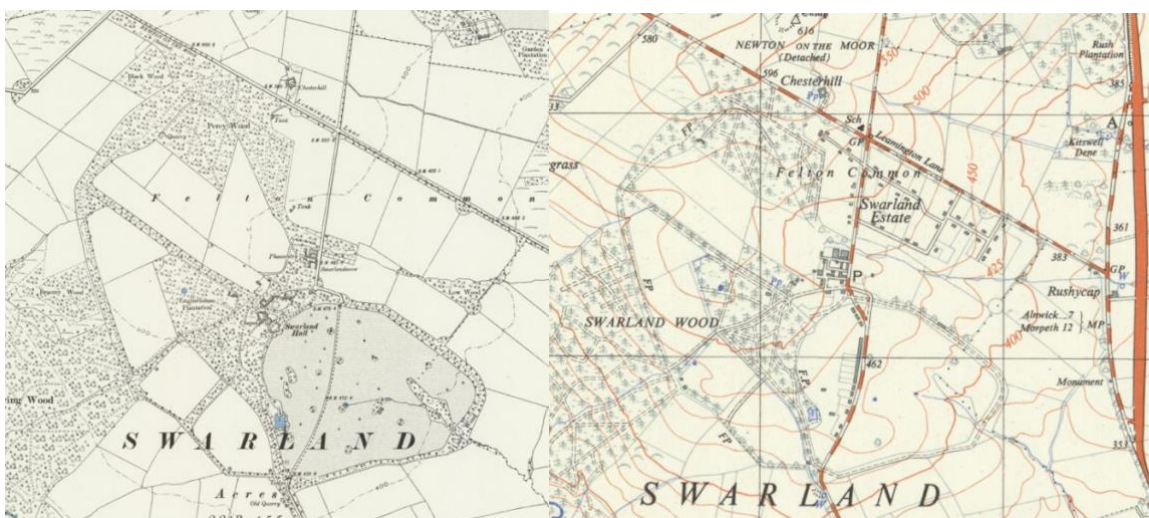


Figure 4: Old maps - 100 years apart showing layout of parkland largely unchanged.

- 5.13 Swarland village has several areas of different types of housing, materials and features contributing to its character and distinctiveness. The Design Code identifies five distinct housing areas in Swarland and these areas are shown on the Policies Map and in Figure 5 below.
- 5.14 Some areas clearly reflect the layout of the original settlement whilst others have an eclectic mix of properties and building heights. Each description is intended to be taken into consideration when applications for development are made in that area so that new properties are in keeping with existing developments. Heights are particularly important in Swarland, due to the topography of the village.

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The area types identified across the Newton on the Moor and Swarland NA:

1 North-east housing area	4 Old Park Road
2 North-west housing area	5 Park Road
3 The Square and adjacent area	

Figure 5: Indicative map showing Character Areas for Swarland

- 5.15 **Area 1:** The northeast area from Vyrer Park to Leamington Lane and eastward to Studley Drive, and the boundary with Felton parish. This area is the largest character area and comprises relatively modern housing development in Swarland. It contains a mix of types of housing in terms of style, size, materials used and boundary treatments.
- 5.16 Some properties have been developed from the original settlers' single storey properties (see map showing original layout). However, almost all of these plots are now developed, with only a few potential infill plots remaining. A good example of a relatively unaltered settler's property can be found on Nelson Drive (see photograph below).

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Figure 6: Settler's cottage on Nelson's Drive (grade II listed)

5.17 Area 2: The northwest area Chesterwell to Leamington Lane and west out to the settlement boundary is predominantly bungalows. Some properties have been extended from the original settlers' single storey dwellings to larger 1.5 storey buildings.



Figure 7: Map (published c 1957) showing settler's plots in Swarland – note burgage plots to the south

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- 5.18 **Area 3** comprises land from The Avenue, The Square, Coast View up to Springwood and out to Tweedmill Lane. Area 3 comprises the **historic core** of Swarland as referred to in the Design Code and in the History background document. The properties are mainly 1-1.5 storeys. **Materials** are rendered or made of sandstone under slate roofs.



Figure 8: The Square, Swarland

- 5.19 North Lodge on the corner of Coast View where it joins Park Road was the lodge to Swarland Hall. The ruins of Swarland Hall are in Swarland Wood. Coast View is a mix of mainly 1 to 1.5 storey properties. Coast View goes up to Springwood but also turns toward the Village Club and Swarland Village Hall, and beyond until it reaches Tweedmill Lane. Springwood contains a mix of 1-1.5 storey properties and has Swarland Wood to the west and open land to the north.



Figure 9: Swarland Village Hall

- 5.20 **Area 4:** Old Park Road. This road has one bungalow named Lislewood on the original road, a house known as The Park at the most easterly point of the road and a new development of houses. Old Park Road has a considerable change in gradient so the topography enables the two-storey properties to be less visible within the landscape of the village.
- 5.21 **Area 5** is in the southern part of Swarland. The Park Road bungalows have a strong character and are an important part of the street scene within Swarland, with the most unaltered view of the original settler's cottages, albeit many of them have been altered significantly. Three are listed buildings (Nos 24, 28 and 40). These are the original settlers flat roofed single storey properties with 1.5 acres of land which can be clearly seen as burgage plots to the rear. These plots are generally outside the settlement boundary, and so will not be suitable for housing development. Most of the plots join the edge of Swarland Wood. Some have obtained permission to develop land to the rear of their properties. The Park Road bungalows are extremely important for the historic perspective that they give to the village and, as such they are included in the Schedule of Non-Designated Heritage Assets.
- 5.22 Douglas Crescent to the south is a road of single storey bungalows some of which have been developed into the roof space to form 1.5 storey properties.

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- 5.23 The trees along The Avenue and along Leamington Lane contribute to the character of the village and the street scene. These trees are protected with a group Tree Preservation Order.
- 5.24 The Design Code identifies Key Views for Swarland. These are identified on the map below.

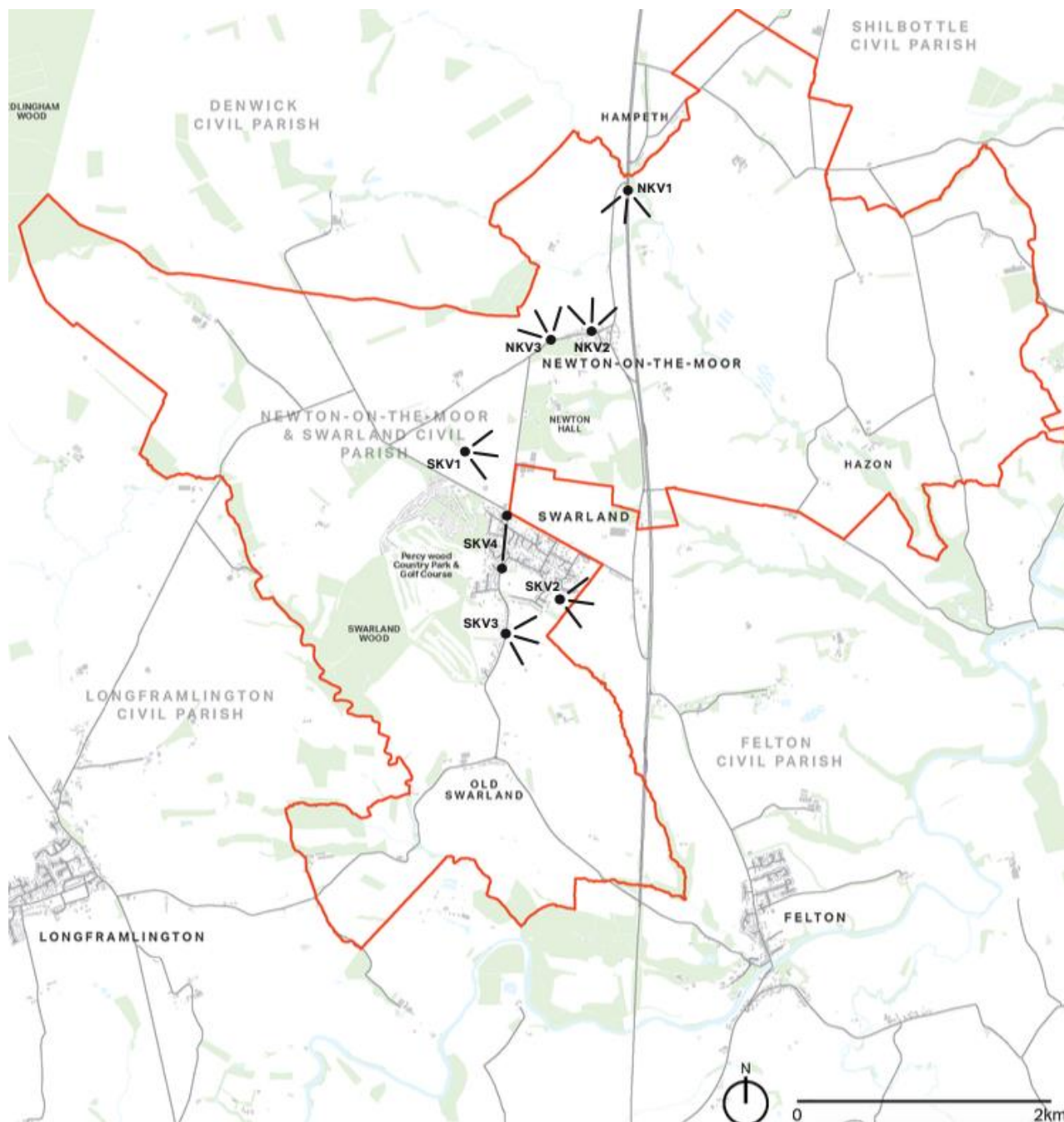


Figure 10: Key views identified in the Design Code and consulted on with the local community



Figure 11: View from Swarland across to the coast

Policy 1 – Sustainable Development in Swarland

New development within the 5 Character Areas within the settlement boundary for Swarland shown on the Policies Map must incorporate high quality design and demonstrate how it meets the guidance of the Design Code contained in Appendix C.

Proposals for development in all 5 areas must give consideration to:

- a) scale, density, height, massing, layout, materials, hard and soft landscaping, as well as means of enclosure and access to reflect the character of the area in which it sits;
- b) detail of design features including windows, doors, roof lights, dormers, chimneys and roofs;
- c) orientation of buildings and landscaping to maintain the existing key views identified in the Design Code and in Figure 10:

SKV1: view east from Chesterhill towards the coast

SKV2: view east over fields towards the coast from Old Park Road

SKV3: view east over fields and Nile Park towards the coast from Park Road

SKV4: view along the avenue of trees in The Avenue

Development in Character Area 3 (the historic core) must have special regard to the historic vernacular of this area. In keeping with the character of this area, buildings should not exceed 1.5 storeys.

Development in Character Area 5, also shown as a non-designated heritage asset, must ensure that the special character of the traditional burgage plot layouts are retained, along with trees and hedgerows which contribute to this character.

Policy 2: Swarland buffer

- 5.25 One of the key concerns raised by the local community was the potential impact on residents in the village of Swarland of extensions to the Percy Wood Holiday Park.
- 5.26 Policy 2 identifies an area to act as a 'buffer' between the caravan park and the village. This buffer will play an important role in conserving the setting of Swarland and ensuring the amenity of future occupiers at the caravan park. The buffer is shown on the Policies Map and extends along the western boundary of Swarland village. The intention of the buffer is to prevent the caravan park merging with the village, and to conserve the visual separation between the two areas.
- 5.27 Evidence to support this buffer area is set out in the background evidence base. To summarise, the buffer begins at the north (Leamington Lane) and includes the area of Percy Wood Golf Course that is designated as a Local Green Space on the western settlement boundary of Swarland (LGS2 Land south of Percy Wood) and also includes the area of Swarland Wood which is designated as a Local Green Space (LGS3 Swarland Wood)). To the south of this, the buffer leaves a gap for land to the west of the village hall which has planning permission for 16 houses. The land to the west of that site is included in the buffer, to protect the amenity of future residents on that site, and provide separation from the golf course.

Policy 2 – Swarland Buffer

To protect the amenity of residents in Swarland, and existing and future occupiers at the Percy Wood Holiday Park, an area along the eastern boundary of Percy Wood Holiday Park, and western edge of Swarland, is identified as a landscape buffer. Development within this area will not be supported where it will lead to the merging of Swarland and the Percy Wood Holiday Park, either physically, or result in increased intervisibility between the two.

Policy 3: Sustainable Development in Newton on the Moor

- 5.28 The Northumberland Local Plan identifies Newton on the Moor as a Small Village and states that sustainable development will be supported within the settlement boundaries defined on the Local Plan policies map.
- 5.29 Newton on the Moor is in part a Conservation Area and has a distinct character reflected by its uniform materiality and one-storey buildings. The village has remained relatively unchanged, with any expansion limited to small-scale developments such as the Hudson Croft bungalows and several single-dwelling infill properties on the adjacent plots.
- 5.30 A detailed Conservation Area Character Appraisal of Newton on the Moor was carried out in 2011 ('the Appraisal'). The Appraisal identified a number of key features in Newton on the Moor which it is important to conserve and consider with regard to any future development. The boundary of the conservation area is shown on the Policies

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Map and below.

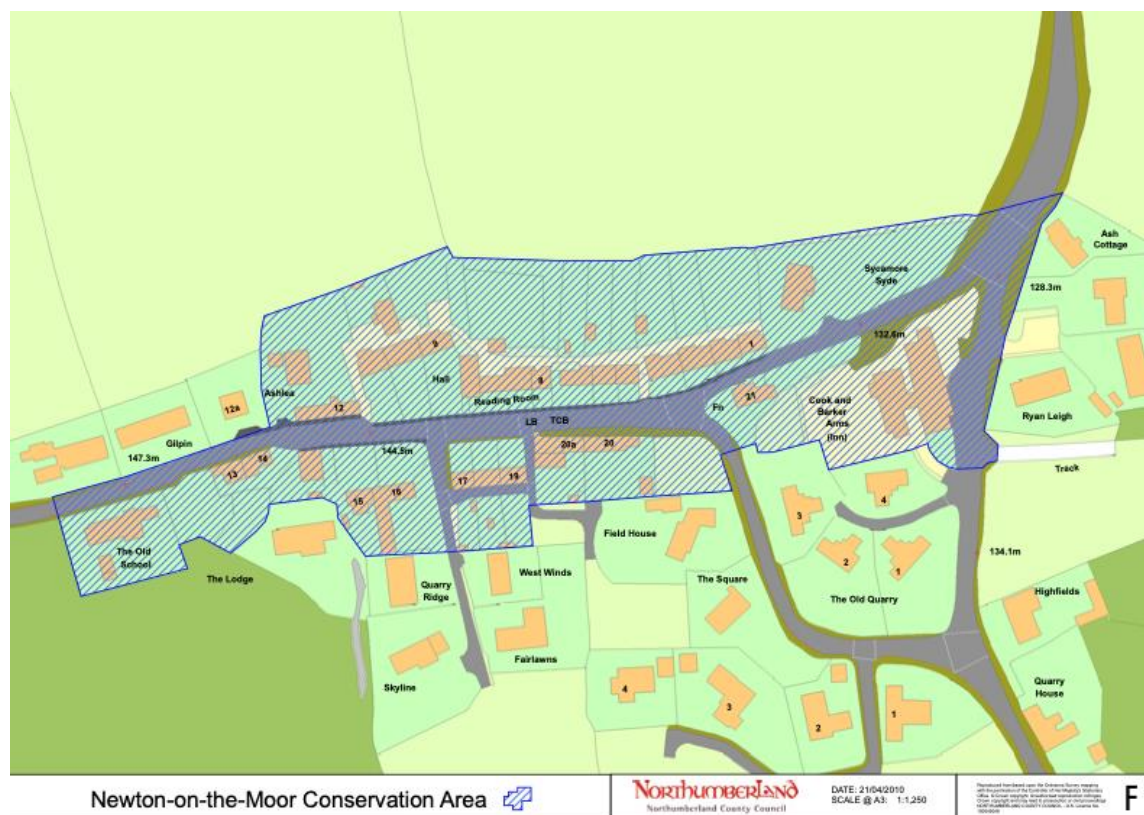


Figure 12: Newton on the Moor Conservation Area

- 5.31 The Appraisal recognises the rural setting of Newton on the Moor and the high value of the surrounding landscapes. The conservation area was reduced in size following the appraisal carried out in 2011, which resulted in the conservation area being reduced to the village historic core, including the Cook and Barker Inn.
- 5.32 The main street of the historic core of the village is wide and straight as it runs up through the eastern half of the village to the Jubilee Hall and defined by building facades to the south, and cottages set back behind boundary walls to the north.
- 5.33 The western half is flatter, with buildings set further back, but vegetation and walls preserve the sense of enclosure. At each end, the street narrows suddenly and changes direction; to the west it reverts to a meandering country lane, while to the east it dips steeply down.
- 5.34 There are 5 listed buildings in the Newton on the Moor Conservation Area:
- Jubilee Hall with attached wall to south west (grade II)
 - Reading Room (grade II)
 - 5 and 6 Newton Village (grade II)
 - Old Manor House (grade II)
 - Pant on east side of the village street at the road junction (grade II)

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Figure 13: Newton on the Moor village

- 5.35 Roofs are prominent and chimneys are an important feature of the skyline, giving rhythm to the view along the road. The gable end and domed bellcote of Jubilee Hall punctuate the street and mark the centre of the area physically as well as functionally, giving the building special importance.
- 5.36 Houses 13 and 14 effectively mark the west end of the village, forcing a sudden narrowing at the other end of the village. Numbers 1 and 21 perform a similar 'gateway' function and are therefore important. The pant has special importance at the low point of the street, marking the road junction and providing a focus on views to the east.
- 5.37 Houses are rectangular in basic plan, single storey and grouped in terraces of 2-4 parallel to the road, with ridge lines stepped up the slope of the hill. Some are built up to the pavement or road line and some have walled front gardens. Roofs are gabled, with chimneys on the ridge and stone gable copes. Window openings tend to be regular, often with a wide vertical format.
- 5.38 The predominant wall material is buff sandstone with occasional ochre, grey and pink stone, generally laid as coursed rubble and used for both buildings and boundary walls. Roofs have clipped or open eaves and are mainly red clay pantile. Doors and rainwater goods are often painted a dull bluish-green, windows being white-painted timber sashes or side-hung casements with glazing bars.
- 5.39 The plain character of the architecture makes details such as the Reading Room canopy, kneelers and chimneys, the Hall bellcote and timber porches on the Old Post Office and Cook and Barker Inn stand out, and as such gives them special importance.
- 5.40 The areas to the south, much of which was removed from the conservation area in 2010, has a character of relatively low density modern single-storey detached houses in their own gardens. The area is dominated by vegetation rather than buildings.

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Dispersed and experienced as individual features within the landscape with little relation to each other or the road. The width of the old A1 is emphasised by the open land falling to the east with its relatively low, scrubby vegetation in contrast to the walls and hedges of the Old Quarry site opposite.

- 5.41 Windows are a mixture of horizontal and vertical format. The three older houses in this area are of buff sandstone, and others vary in materials. Roofs are mainly red clay pantiles, many with boxed eaves and bargeboards. Windows are white painted.
- 5.42 A notable development outside of the settlement boundary of Newton on the Moor is the Grade II Listed Newton Hall an 18th century country estate with associated buildings (i.e. working cottages) distributed across its estate. The hall is the largest residence in the Neighbourhood Area and has been recently restored and renovated. It is surrounded by formal gardens and mature woodland.
- 5.43 In addition to the Conservation Area Appraisal, the Design Code also contains detail about what kind of design is likely to be acceptable in Newton on the Moor, in terms of materials, details, boundary treatments, etc. The Design Code highlights 2 character areas in Newton on the Moor. It also identifies key views for Newton on the Moor as shown in Figure 10 for Policy 1. The policy seeks to clarify what will be expected for proposals for development in each of these areas.

Policy 3: Sustainable Development in Newton on the Moor

Development proposals within the settlement of Newton on the Moor must respect the prevailing density, design, landscaping and key views within and out of the village.

Development proposals affecting the Newton on the Moor Conservation Area or its setting will be required to preserve or enhance the character or appearance of the conservation area must consider the impact on the following specific elements identified in the Newton on the Moor Conservation Area Character Appraisal and the Design Code in Appendix C:

- a) Layout, materials, landscaping, boundary treatments and vernacular design of windows chimneys, dormers and roofscape;
- b) Setting of listed buildings;
- c) The importance of trees, hedgerows and landscaping within the village.
- d) Key views identified in the appraisal, in the Design Code and Figure 10 as follows:

NKV1: View of Newton on the Moor from the A1

NKV2: View north from the main street of Newton on the Moor

NKV3: view to Shiel Dyke from the main street of Newton on the Moor

Development of poor design which fails to preserve or enhance the character of the Conservation Area will not be supported.

Policy 4: Meeting Housing Needs

- 5.44 The public consultation that has formed part of the preparation of the Plan revealed that the local community considered that there is a lack of smaller properties to meet the needs of those (generally older people) wishing to downsize and those (generally younger people) seeking to live in the Neighbourhood Area to be near to relatives. Therefore, in order to inform the policies of the Plan, a housing needs assessment was sought.
- 5.45 The Housing Needs Assessment (2024) ('HNA') was undertaken by AECOM whose assistance has been provided with the support of funding from the DHLUC. A full copy of this is in the Background Documents. The following is a summary of their conclusions:
- Home values in Newton on the Moor and Swarland are on average 76% higher in 2023 than they were in 2013. The current median is £395,000, which is 63% higher than the median in 2013. The lower quartile (LQ) price (the lowest 25% of sales) stands at £260,000.
 - The current median house price in Newton on the Moor and Swarland is more than twice as expensive as the current median for Northumberland.
 - The average income in the Neighbourhood Area was £38,000 in 2020, and the LQ income (per person) for Newton on the Moor and Swarland was £16,200. Local households on average incomes are unable to access even entry-level homes unless they have the advantage of a large deposit. The median house price would require an annual income 160% above the current average.
 - Private renting is challenging generally, only making entry-level rents affordable to average earners. Households made up of a single lower earner could not afford the given rental thresholds and would need to rely on social and affordable rental options.
 - Subsidised routes to home ownership such as First Homes and shared ownership are intended to target people who can afford to rent but not buy. In the Neighbourhood Area there is a relatively large gap between the income needed to afford to rent (£24,800) and to buy (£67,000).
 - Those earning between these figures may benefit from these products. The discount on First Homes can be set at 30%, 40% or 50% in Neighbourhood Plans. In Newton on the Moor and Swarland discounts of 50% would be affordable to average earners.
 - Affordable rented housing is generally affordable to households with two lower earners depending on their household size (average earning households are unlikely to be eligible). However, households with a single lower earner appear unable to afford any of the tenures considered including the smallest socially rented units.
 - If the lowest earners are unable to secure a social rented dwelling or additional subsidy, they may need to live in a room in a shared house using housing benefits or (more realistically) live outside of the Neighbourhood Area, with knock-on

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impacts on social networks

- 5.46 AECOM estimate there will be a long-term need for both social/affordable rental and affordable home ownership over the Plan period. This amounts to an annual need for 0.4 units of social/affordable rented accommodation (4.8 units over the Plan period to 2036) and a potential demand for 0.7 units for affordable home ownership (8.4 units over the Plan period to 2036).
- 5.47 Northumberland's adopted policy on this subject requires 25% of all new housing to be affordable. If the community wishes to boost the supply of affordable housing, there are other, more proactive routes available for its provision. For example: using neighbourhood development orders, identifying exception sites or developing community land trusts are all ways of boosting the supply of affordable housing.
- 5.48 AECOM recommend that the tenure mix of Affordable Housing secured in future years is weighted in favour of providing a higher proportion of socially/affordable homes (65%), whilst providing a modest proportion of affordable home ownership options (35%).
- 5.49 The Neighbourhood Area has a much higher proportion of larger 4+ bed homes than typically found across the County Council. This trend is reflected in very low proportions of smaller homes, in contrast to Northumberland's wider mix.
- 5.50 The Neighbourhood Area has an ageing population. New development should deliver a variety of dwelling sizes; though mainly those with between 1 and 3 bedrooms. This would diversify the existing housing profile, improve affordability in the existing housing stock and help to meet the needs of the shifting demographic profile of the Neighbourhood Area (notably improving downsizing opportunities and providing larger homes or newly formed families).
- 5.51 The evidence at both County and Parish levels identifies the need to support the provision of smaller homes to support young families and meet the needs of an ageing population, in particular older households looking to downsize. As the Local Plan Policy HOU5 includes a requirement for new market homes to meet identified local need, informed by local housing needs information (including supporting community-led housing, self and custom build homes) it is not necessary to repeat this within the Plan.
- 5.52 With regard to the provision of homes for older and vulnerable people, Local Plan Policy HOU11 supports the provision of appropriate accommodation in accessible and sustainable locations that are well-served by local health, leisure, education and transport facilities. Integrated sheltered residential retirement and extra care accommodation with support for older people and vulnerable adults is focussed on main towns and service centres.
- 5.53 As a result of the specific needs for affordable housing identified in the HNA, as well as reflecting feedback from the local community through a questionnaire and early engagement, the Parish Council considers it is essential that the Plan provides additional detail to that contained within the Development Plan.

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5.54 Policy 4 sets out additional detail with regard to affordable housing in the Neighbourhood Area and seeks to support the limited development of rural exception sites including First Homes, where they would deliver housing that meets locally identified affordable housing needs, assisting the delivery of Plan Objective 2. This provides additional detail to supplement Local Plan Policy HOU7.

Policy 4 – Meeting Housing Needs

Affordable housing provision in the Neighbourhood Area must be provided in accordance with the latest Housing Needs Assessment for the area in terms of the type and mix of housing.

The type of affordable housing provided should reflect the identified local needs of the community, by providing one, two and three bedroom affordable homes.

The tenure mix should be 65% housing for rent, and 35% affordable home ownership options or as set out in the latest HNA.

Policy 5: Local Green Spaces

- 5.55 The natural environment of the Neighbourhood Area is greatly valued by the local community for its views, the sense of space and beauty it provides, the green spaces, and the wildlife it supports.
- 5.56 The Neighbourhood Area benefits from surrounding open countryside, with views towards both the coast and the woodland areas that are within and adjacent to the Neighbourhood Area. There are also several wooded denes, often following the course of a burn, which provide valuable wildlife corridors and include some areas of semi-ancient woodland.
- 5.57 Sitting as they do within open countryside, the topography and landscape surrounding Swarland and Newton on the Moor are key to the views of the surrounding countryside
- 5.58 Swarland is known for its mature tree cover and has a significant number of individual Tree Preservation Orders and group protection for trees along The Avenue. Swarland Wood is a well-loved area which provides considerable local amenity and is home to a small population of red squirrels.



Figure 14: Woodland tree belt along The Avenue, Swarland

- 5.59 The Neighbourhood Area is fortunate to be surrounded by open countryside and to have access to a large area of woodland owned by Forestry England. These areas are valued by local residents, as evidenced by responses to the Plan Questionnaire.
- 5.60 Green and open spaces are a vital part of a healthy and vibrant community and are of great importance both to the character of a place and to the community itself. They are valued for a range of reasons, including historic significance, recreational value, tranquility, visual amenity and the richness of wildlife.
- 5.61 The NPPF enables a neighbourhood plan to designate specific areas as Local Green Space (LGS). These spaces do not need to be publicly accessible.
- 5.62 The Local Green Space designation should only be used where a site is in reasonably close proximity to the community it serves; is local in character, is demonstrably special

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to a local community and holds a particular local significance, for example: because of its beauty, historic significance, recreational value (including as a playing field), tranquility or richness of its wildlife. It must not be an extensive tract of land.

- 5.63 A Local Green Space Background Paper has been prepared which sets out how the Local Green Spaces identified meet the criteria set out in national planning policy. It explains why each of the Local Green Spaces identified below, are demonstrably special to the community.

Policy 5 – Local Green Spaces

The following areas are defined on the Policies Map and are designated as Local Green Space which will be protected from development in a manner consistent with the protection of land within the Green Belt.

LGS1: Nile Park (land to the east of Park Road)

LGS2: Land to the east of Percy Wood Holiday Park

LGS3: Swarland Wood

LGS4: Trees and amenity areas around Vyner Park

LGS5: Tree belt and verge along Old Park Road

Policy 6: Protected Open Space

- 5.64 Consultation with the community identified two areas that are particularly valued by the community both for their recreational and landscape function. These are the Swarland Primary School Playing Fields, and the Percy Wood Holiday Park Golf Course.
- 5.65 The County Council have recently commissioned an Open Space Assessment of the whole County (published January 2025 and listed in the evidence base documents) which identifies areas of open space in the County of value. The assessment identified several open spaces in the Neighbourhood Area:
- Percy Wood Holiday Park Golf Course
 - Swarland ANGS (Accessible Natural Green Space)
 - Vyner Park recreation ground and the facilities associated with it, including the Playing Field, allotments, and other recreational areas.

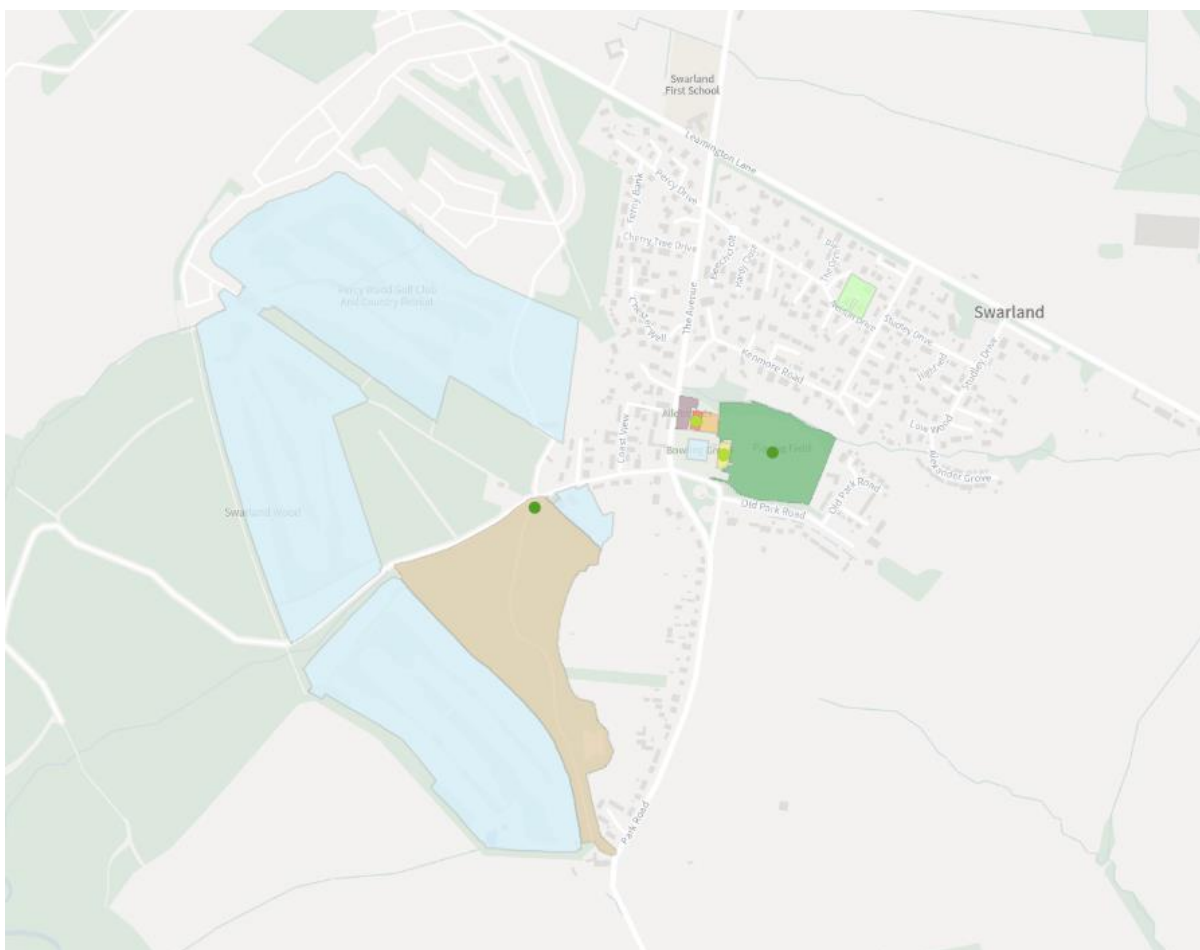


Figure 15: Extract from Northumberland Open Space Assessment showing golf course in pale blue, Swarland Wood in brown

- 5.66 Policy 5 identifies Swarland Wood and amenity areas around Vyner Park as Local Green Space.
- 5.67 The golf course is not appropriate for LGS designation due to its size. It is, however, highly valued by the community for the landscape and biodiversity benefits it provides, as well as the recreational facility, albeit a private one. The golf course is therefore

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allocated as 'protected open space' and development that compromises its role as an open recreational space will not be supported.

Policy 6 - Protected open space

Percy Wood Holiday Park Golf Course is identified as protected open space and development proposals that are not related to the function of the space as a golf course will not be supported.

Policy 7: Green and Blue Infrastructure and wildlife corridors

- 5.68 The NPPF states that plans should identify, map and safeguard components of local wildlife-rich habitats and wider ecological networks, including the hierarchy of international, national and locally designated sites of importance for biodiversity; wildlife corridors and stepping stones that connect them; and areas identified by national and local partnerships for habitat management, enhancement, restoration or creation; and promote the conservation, restoration and enhancement of priority habitats, ecological networks and the protection and recovery of priority species and identify and pursue opportunities for securing measurable net gains for biodiversity.
- 5.69 Policy 5 identifies areas in the Neighbourhood Area, which in combination, conserve and deliver green infrastructure in the parish, and provide wildlife corridors and links between these areas.
- 5.70 Further detail is contained in the background report on Green Infrastructure. The purpose of identifying these areas is to ensure that habitats are not eroded, and links between habitats are encouraged. This is in line with government objectives to increase biodiversity in the UK.

Policy 7 - Green and Blue Infrastructure and wildlife corridors

The following areas shown on the Policies Map comprise green and blue infrastructure and wildlife corridors in the Neighbourhood Area. Proposals resulting in an adverse impact on these areas and their function as green infrastructure and wildlife corridors will not be permitted. Proposals which enhance the connectivity of these areas will be supported subject to policies elsewhere in the development plan.

- a) Former grounds of Swarland Hall designed landscape including Swarland Wood and Golf Course;
- b) Vyner Park and surroundings;
- c) Woodland plantations surrounding Newton Hall
- d) Woodland on the south side of the road from Newton on the Moor to Overgrass
- e) Hazon Burn, Swarland Burn and Newton Burn and the woodland habitat adjoining them
- f) The disused railway line (Whittle Quarry to Hartlaw)
- g) Tree lined avenues in Swarland (The Avenue, Leamington Lane)

Policy 8: Non-Designated Heritage Assets



Figure 16: Swarland Primary School, identified as a NDHA

- 5.71 Heritage assets can be designated or non-designated. Designated heritage assets have statutory status and include listed buildings and conservation areas and are identified by Historic England. Non-designated heritage assets are buildings, monuments, sites, places, areas or landscapes identified as having a degree of significance meriting consideration in planning decisions because of their heritage interest, but which do not meet the criteria for designated heritage assets (as defined in Annex 2 of the NPPF).
- 5.72 The NPPF (Annex 2) defines a heritage asset as: “A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing).”
- 5.73 Heritage assets are an irreplaceable resource and the NPPF requires them to be conserved in a manner appropriate to their significance. Planning decisions affecting a heritage asset are required to be based on a sound understanding of the significance of the asset and the impact of the proposal on that significance.
- 5.74 This policy identifies buildings and other structures and areas of archaeological interest as being worthy of protection as non-designated heritage assets due to the important contribution that they make to the distinctive local character of the Neighbourhood Area.
- 5.75 In parallel with this policy, the Parish Council proposes that these buildings and structures are considered by Northumberland County Council for inclusion in the Local List. However, the inclusion of any building or structure on the Local List is not necessary for the application of this policy.
- 5.76 The special interest of each NDHA and the rationale for defining the list in Policy 8 is set out in Appendix B.

Policy 8 – Non-Designated Heritage Assets

Development proposals affecting the significance of any non-designated heritage asset or its setting should take into account its significance and the scale of any harm or loss. Where a development has the potential to include heritage assets of archaeological interest, developers will be required to submit an appropriate desk-based assessment, and where necessary, a field evaluation.

NDHA1: Swarland School

NDHA2: Cottages and burgage plots along Park Road Swarland

NDHA3: Pond and ice store within Engine Wood

NDHA4: Old Swarland medieval settlement (archaeological interest)

NDHA5: Hazon neolithic settlement and field systems (archaeological interest)

NDHA6: Hartlaw medieval village (archaeological interest)

NDHA7: Cook and Barker Inn, Newton on the Moor

Policy 9: Community Facilities



Figure 17: Jubilee Hall, Newton on the Moor

- 5.77 As a result of public consultation the buildings and facilities listed in this policy are identified as being of significant value to the community. The 'Vibrant and Thriving Communities' background paper sets out the detail of each of the facilities mentioned and the activities that take place there.
- 5.78 This policy encourages proposals that on the one hand will support their continued viable use, and on the other will protect them from unnecessary loss or change of use. In evaluating any proposals, relevant user groups and clubs should be consulted.

Policy 9 – Community and Recreational Facilities

The following community and recreational facilities are of significant value to the local community and are shown on the Policies Map.

- CF1 – Jubilee Hall (Newton on the Moor)
- CF2 – Cook and Barker Inn (Newton on the Moor)
- CF3 - The Village School including the Shining Stars nursery facility (Swarland)
- CF4 - Swarland Village Hall (Swarland)
- CF5 - Swarland Village Club (Swarland)
- CF6 - Nelson's at the Park café (Swarland)
- CF7 – Vyner Park including tennis courts, dog walking area, allotments and bowling green
- CF8 – Swarland Primary School Playing Fields

The provision of new, and the expansion of existing community facilities, will be supported where they comply with policies elsewhere in the development plan.

Proposals that would result in the loss of a community facility will not be supported unless it can be clearly demonstrated that the facility is no longer viable, or no longer required by the community due to alternative provision.

Policy 10: Percy Wood Holiday Park

- 5.79 The NPPF requires planning policies to support sustainable rural tourism and leisure developments that benefit businesses in rural areas, communities and visitors, and which respect the character of the countryside.
- 5.80 The Neighbourhood Area is supportive of sustainable tourism. This is tourist facilities that are committed to generating a low impact on the surrounding environment and community by acting responsibly, while generating income and employment for the local economy. However, the Neighbourhood Area recognises that it does not have the transport links or facilities to support any new large scale tourism business.
- 5.81 The background paper with regard to tourism confirms that the Neighbourhood Area has small, medium, and large accommodation for tourists. Relevant policies in the Local Plan set out the support for rural businesses.
- 5.82 With regard to large scale tourist accommodation within the Neighbourhood Area, this is provided by Percy Wood Holiday Park. The scale of Percy Wood Holiday Park is such that the number of units now exceeds the number of houses in Swarland. Therefore, it is not practical to consider any expansion of the site, or any other large scale tourism business within Swarland as there is already significant pressure from Percy Wood Holiday Park on the roads, drainage system and facilities.
- 5.83 There is also concern about the ability of the local sewage and drainage infrastructure to cope with more development, given the existing problems that have been identified. Any future development must ensure that adequate infrastructure is in place to manage drainage and sewage.

Policy 10 – Percy Wood Holiday Park and buffer

Development proposals at Percy Wood Holiday Park must comply with policies elsewhere in the development plan. Proposals to extend the caravan park to provide additional accommodation or facilities must not encroach on the buffer area identified in Policy 2 and on the Policies Map.

Any future development at the caravan park must demonstrate that there is sufficient infrastructure capacity, and that it will not impact on sewage and drainage elsewhere.

Proposals to provide facilities within the caravan park to reduce the need for visitors to travel will be supported where they comply with policies elsewhere in the plan.

Policy 11: Cycle Paths

- 5.84 There is no genuine choice of sustainable transport modes in the Neighbourhood Area. The only public transport is the pilot Saturday bus service identified in the Transport background paper. The improvement of bus services is ongoing, and comprises a Community Action.
- 5.85 The villages and hamlets in the Neighbourhood Area are a considerable distance from the facilities provided in the towns of Alnwick and Morpeth and also the village of Felton, making cycling or walking impractical and meaning that most residents rely on the use of the private car for transport.
- 5.86 The NPPF encourages a reduction in greenhouse gas emissions through the introduction of measures which promote a decrease in the number of journeys made by car. It identifies that planning policies should support a range of transport modes, with priority given to walking, cycling and public transport as well as consideration of disabled access.
- 5.87 There are many footpaths, bridleways and byways in the Neighbourhood Area and these are greatly valued by residents. The countryside is what makes it special to many of the residents. In the public facing events and also in response to the questionnaire, residents would like to see the footpaths improved. Cycling is also very important to a number of residents. There is support for the development of cycle routes around the Neighbourhood Area.
- 5.88 A cycle path between Newton and Swarland, and Swarland and Felton would enhance the ability of cyclists to safely access the services of Felton, and to make public transport connections for both shopping and commuting as well as for tourism and leisure.

Policy 11 – Cycle Paths

The provision of a cycle path between Newton and Swarland, and Swarland and Felton as shown on the Policies Map will be supported.

Policy 12: Road Safety

- 5.89 Traffic safety in the Neighbourhood Area is a key concern that was raised by residents. Further detail is provided in the background paper listed in the evidence base documents.
- 5.90 There is considerable concern within the Neighbourhood Area about the dangers presented by the three junctions giving access to and from the villages, hamlets and caravan park. There have been several fatal accidents at these junctions over the years.
- 5.91 These three junctions are known to be unsafe and have had a high instance of fatality and serious injury and are therefore both a risk, and in need of safety improvement. Policy 12 seeks to ensure that any proposals for development that are likely to have any further impact on these already dangerous junctions due to increased traffic, should include a Traffic Impact Assessment to identify any additional risk posed by the development and include mitigation where additional risk is identified. The policy also supports any works required to improve safety at these junctions.

Policy 12 – Road Safety

Proposals likely to result in a significant increase in traffic will be required to include an assessment of the impact of additional vehicle movements on the junctions at Rashercap, Guyzance Crossroads and Leamington Lane.

Proposals which will lead to the improvement of the safety of these junctions will be supported where they accord with policies elsewhere in the development plan.

6.0 Monitoring and Review:

- 6.1 The Plan will be monitored by the Parish Council using data collected in planning monitoring reports. The objectives and performance of planning policies will form the core of the monitoring activity, but other data collected and reported at a parish level which is relevant to the Plan may also be included.
- 6.2 The Parish Council may, if necessary, undertake a formal review of the Plan before the end of the Plan Period, although it is not expected that any such review would take place during the first half of the Plan Period.

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Acknowledgments

This Pre-submission Draft Neighbourhood Development Plan was prepared by the Steering Group on behalf of the Parish Council. The Steering Group members are:

Donna Corbin (Chair)
Barry White (Vice Chair)
Liz Simpson (Secretary)
Liz Clark (Parish Councillor until May 2024, chair of SNAC and Environment lead)
Lesley Selfe (History Society)
Alison Cowen (Vyner Park and Show Committee, and History)
Jackie Stent (Education)
Jo Totton CBE (Housing) Michael Corke (Statistics)
Rob Simpson (Parish Councillor)
David Rixon (Parish Councillor)
David Francis (Parish Council Chair until May 2025)
David Arkieson (Environment) stood down February 2024
Andrew Hastie (Environment) stood down September 2023
Mark Whiteley (Parish Councillor) stood down June 2023
Michelle O'Hara (on an ad-hoc basis)

The members of the Steering Group had expertise in a wide range of fields including heritage, environment, legal, education, statistics, project management, events management and administration.

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Appendix A: Evidence Base documents

These documents are available on the Parish Council website

(<https://newtonswarlandpc.org.uk>)

In consultation with the local community, produced by the Parish Council:

- Census Background Paper (2024)
- Questionnaire Response Analysis (2024)
- History of the Parish
- Non-designated Heritage Assets Background Paper (2025)
- Non-designated Heritage Assets Assessment (Appendix 2)
- Natural Environment and Green Infrastructure Background Paper (2025)
- Local Green Space Background Paper (2025)
- Key Views Background Paper (2025)
- Swarland Buffer Background Paper (2025)
- Roads and Transport Background Paper (2025)
- Cycle Background Paper (2025)
- Tourism Background Paper (2025)
- Percy Wood Holiday Park Background Paper (2025)
- Vibrant and Thriving Communities Background Paper (2025)
- Community Actions (2025)


Produced by AECOM:

- Housing Needs Assessment AECOM (2024)
- Design Code AECOM (2025)

Other publications:

- Newton on the Moor Conservation Area Character Appraisal (2004)
- Northumberland County Council Local Development Plan (2022)
- National Planning Policy Framework (2024) and Practice Guidance (as updated)
- Northumberland Open Space Assessment (Jan 2025)
- Memorandum Percy Wood Holiday Park (2024)

Appendix B: List of non-designated heritage assets

<p>Site:</p> <p>Swarland School. The school is located at the crossroads at the north of the village (Grid reference NU 16402 03942)</p>	
<p>Asset type, age and rarity</p>	<p>1937</p> <p>School building which has historical value as it was developed as part of a privately funded settler village, though it was funded by the local council in 1937 to contribute to the Swarland Settlement. Built as part of the Swarland settlement. The Swarland settlement was unique as it was privately funded as opposed to other settlement villages which were funded by Local Authorities or by public funding.</p>
<p>Special Interest:</p>	<p>Architectural or artistic interest: Chesterhill which sits above the school is the site of the Iron Age camp.</p> <p>Group value: The school contributes to what makes the Parish and its villages what they are today, it reflects the history of Swarland as a settlement village. With views west to Chesterhill which is a scheduled monument and east to the coast where Coquet Island and Warkworth are visible.</p> <p>Archaeological Interest:</p> <p>The school has views to the top of Chesterhill which is the site of an Iron Age camp which is a scheduled monument. Chesterhill is also the highest point in the parish</p> <p>Historic interest:</p>


Newton on the Moor and Swarland Neighbourhood Plan 2025-2036

Regulation 14 Pre-submission Plan

	<p>The school was opened in 1937, as part of the Swarland Settlement, this enabled the children to be educated within the village negating a walk twice a day to Newton on the Moor School which was oversubscribed. The presence of a school took Swarland to the next stage of achieving village status</p>
Landmark status	<p>The school reflects the history of Swarland which was developed in the 1930's by The Fountains Abbey Settlers Society as a land settlement for unemployed shipyard workers and tradesmen and their families from Tyneside, from Jarrow and Gateshead.</p> <p>The school was opened in 1937 as part of the Swarland Settlement. The opening of the school was significant as it without it 3 schools across neighbouring villages would have been required to accommodate the children and it took Swarland another step closer to full village status.</p> <p>Today the school remains at the heart of the village community providing public value. The school actively contributes to the community as children are actively involved in community events, for example children made wreaths for the Remembrance Day Service and attended the event. Village residents volunteer at the school for example as school governors and in supporting with reading.</p> <p>The school is set within large playing fields that provide stunning views east to the coast where Coquet Island and Warkworth are visible.</p> <p>The school is part of the historic and cultural core of the village.</p>

Newton on the Moor and Swarland Neighbourhood Plan 2025-2036

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<p>Site</p> <p>Park Road, Swarland is a street of multi- coloured properties built as part of the settlement village in the 1930's. It is located at the south end of the village, grid reference, NU 16404 02974</p>	
<p>Asset type, age and rarity</p>	<p>1930s</p> <p>The road is made up of houses which were built as part of the Fountains Abbey Settlers Society and reflect the ethos of the society of providing employment and enabling people to live a sustainable life. Park Road is an example of houses built as part of a privately funded settlement village, developed as part of a social experiment (see history of the Parish for further details).</p>
<p>Special Interest</p>	<p>Park Road reflects the development of the village as a settlement village.</p> <p>The location provides fabulous views.</p> <p>Park Road overlooks the early 19th century battle park which depicted Admiral Nelson's Battle of the Nile, Park Road representing the French battleships, as well as the coast beyond. From the A1 Park Road presents an iconic view.</p> <p>Architectural and artistic: The road reflects the history of the village as a settlement village, that and its views contribute to what makes the Parish and its villages what they are today.</p> <p>Historic Interest:</p>

Newton on the Moor and Swarland Neighbourhood Plan 2025-2036

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	<p>The settlement village developed in the mid 1930's to provide work for unemployed tradesmen and their families largely from Jarrow and Gateshead. Land settlement was seen as a way to provide small holdings to men anxious to develop a life of agriculture as well as to reduce unemployment. The houses on Park Road were known as 'charged' houses.</p> <p>The houses were built by the homeowners who lived communally until the property was built. Initially the houses were single storey but built in such a way that a second storey could be added when the occupier had earned enough money.</p> <p>Park Road provides a historical record of the village development.</p> <p>The park and plantation which it overlooks was developed by Alexander Davison in memory of his friend Lord Nelson. With fabulous views look across Swarland Park and the Nile Plantation and east to the coast, the road also provides an iconic view from the east (A1) towards them.</p>
Landmark Status	<p>Park Road reflects the heritage of the village as a settler village, the properties have an acre and a half of land reflecting the self-sufficiency focus of the village development.</p> <p>Park Road provides an iconic landmark when approaching Swarland on the A1. Within the village itself it provides a picturesque road. The view from the village across Swarland Park and the Nile plantation is stunning. The Park was developed by Alexander Davison, the trees in the plantation reflected Davison's depiction of the Battle of the Nile. 4 trees remain today, 3 have preservation orders and are thought to represent HMS Vanguard, Alexander and Leander.</p>


Newton on the Moor and Swarland Neighbourhood Plan 2025-2036 Regulation 14 Pre-submission Plan

<p>Site: The pond and ice store are found within Engine Wood (part of Swarland Woods, grid reference NU 158033)</p>	
<p>Asset type, age and rarity</p>	<p>Late 1800s Pond and ice store of historic interest</p>
<p>Special interest:</p>	<p>Historic and architectural interest: Swarland Hall was second in Northumberland to Craggside House in having electricity. The pond supplied water for the electricity supply to Swarland Hall. The pond and the associated ice store reflected the history of Swarland Hall</p> <p>The pond provided the water for the electricity supply to Swarland Hall. Today it is all that remains to remind people of the history and wealth of Swarland Hall</p> <p>The ice store is a building for storing ice throughout the year and reflects the status and wealth of those residing at the Hall as only the wealthy had them.</p>

Newton on the Moor and Swarland Neighbourhood Plan 2025-2036
Regulation 14 Pre-submission Plan

Landmark status:	<p>The pond was a source of power for the electricity supplying Swarland Hall reflects the innovation that was occurring within Swarland.</p> <p>The ice store reflects the status of the occupants of the Hall</p>
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Newton on the Moor and Swarland Neighbourhood Plan 2025-2036
Regulation 14 Pre-submission Plan

<p>Site:</p> <p>Old Swarland is the site of the original medieval village of Swarland, grid reference NU 16434 01807</p>		
Asset type, age and rarity	<p>1066-1540 Site of the medieval village of Swarland</p>	
Special interest	<p>Artistic interest due aesthetic value. Whilst no earthworks remain there are panoramic views across the Coquet valley and to the sea from Lindon to Druridge Bay.</p> <p>Historic Interest: Old Swarland reflects the age and history of Swarland as a community and the associated views contribute to what makes the parish and its villages what it is today.</p> <p>Archaeological Interest: It is believed to be the site of the original medieval village of Swarland.</p>	
Landmark Status:	<p>It is believed to be the site of the original village of Swarland. There are wide all-encompassing panoramic views surrounding this area</p>	


Newton on the Moor and Swarland Neighbourhood Plan 2025-2036 Regulation 14 Pre-submission Plan

<p>Site:</p> <p>Hazon, grid reference NU 19214 04537 has been an agricultural community since Norman Times and remains so today.</p>	
<p>Asset type, age and rarity</p>	<p>3000-2000BC Agricultural land which has provided evidence of possible occupation in the Bronze Age and Neolithic period.</p>
<p>Special interest</p>	<p>Artistic interest due aesthetic value Historic Interest: The area contributes to what makes the Parish and its villages what they are today Archaeological Interest: A Bronze age 'food vessel' has been found which could be dated back to 3000-2000BC suggesting early occupation of the land. In 1954 an axe suggesting links to the Neolithic period has been found</p> <p>The Neolithic period is attributed with many innovations including monument building, pottery making, and the domestication of plants and animals, when a new more settled way of life began with less reliance on hunter-gathering. The land made up the Hazon Estate which can be traced back to the time immediately post the Battle of Hastings in 1066. An axe head was found at Hazon High House. The ancient fields still provide evidence of ridge and furrow farming, whilst wild woods remain untouched</p>
<p>Landmark Status</p>	<p>The area surrounding Hazon reflect the rural lifestyle, amongst ancient fields. in which there is still evidence of ridge and furrow farming and wild woods remain untouched.</p>

Newton on the Moor and Swarland Neighbourhood Plan 2025-2036
Regulation 14 Pre-submission Plan

<p>Site:</p> <p>Hartlaw, grid reference NU 20262 06090, grid reference is the site of a medieval village</p>	
<p>Asset type, age and rarity:</p>	<p>3000-2000BC Agricultural land which has provided evidence of possible occupation in the Bronze Age and Neolithic period.</p>
<p>Special interest:</p>	<p>Artistic interest due aesthetic value. The area contributes to what makes the Parish and its villages what they are today</p> <p>The Neolithic period is attributed with many innovations including monument building, pottery making, and the domestication of plants and animals, when a new more settled way of life began with less reliance on hunter-gathering.</p> <p>The history of the land at Hartlaw can be traced back to the time immediately post the Battle of Hastings in 1066. The ancient fields still provide evidence of ridge and furrow farming; wild woods remain untouched.</p>
<p>Landmark Status:</p>	<p>The area surrounding Hartlaw reflects the rural lifestyle, amongst ancient fields. in which there is still evidence of ridge and furrow farming, and wild woods remain untouched.</p>

Newton on the Moor and Swarland Neighbourhood Plan 2025-2036 Regulation 14 Pre-submission Plan

<p>Site: Cook and Barker Public House, Newton on the Moor. Grid reference 417212, 605230</p>		
<p>Asset type, age and rarity</p>	<p>1800's A former Coaching Inn, located on the old A1(Great North Road), now a traditional Country Inn.</p>	
<p>Special interest:</p>	<p>This former Coaching Inn had a Blacksmith's attached to it (what is now the restaurant) A traditional building reflecting the history of the village.</p> <p>Historic Interest: The Coaching Inn and Blacksmith's would have played a key role in the life of Newton on the Moor; The Cook and Barker plays a key role in the village today attracting both locals and visitors to the area.</p> <p>Artistic interest is due to aesthetic value and to the outstanding views offered both to the coast in the east and the cheviots in the west. The building is a traditional Coaching Inn located on the old A1 Road (The Great North Road) combined with Blacksmith's (now the restaurant), reflecting the fact several businesses were often combined in one property.</p>	
<p>Landmark Status:</p>	<p>The name of the public house can be traced back to the Cook family who owned the village in the 1600's</p>	

Appendix C: Design Code

Newton on the Moor and Swarland

Design Guidelines & Design Codes

February 2025

Quality information

Prepared by	Checked by	Approved by
Joe Greenhalgh Urban Designer	Becky Mather Regional Design Director	Nick Beedie Associate Director
Davide Colombo Urban Designer	Nick Beedie Associate Director	Nick Beedie Associate Director

Revision History

Issue no.	Issue date	Details	Issued by	Position	Comments received	Comments / approved by
1	19.01.24	Sections 1 and 2	Joe Greenhalgh	Consultant Urban Designer	29.01.24	Donna Corbin, NP Working Group
2	07.02.24	Sections 1 and 2 (incl. draft codes)	Joe Greenhalgh	Consultant Urban Designer	20.02.24	Donna Corbin, NP Working Group
3	04.03.24	Full draft	Joe Greenhalgh	Consultant Urban Designer	05.03.24	Donna Corbin, NP Working Group
4	09.04.24	Final draft	Joe Greenhalgh	Consultant Urban Designer	05.04.24	Donna Corbin, NP Working Group
5	23.05.24	Final	Nick Beedie	Associate Director	--	Donna Corbin, NP Working Group
6	19.11.24	Revised facilitation package	Nick Beedie	Associate Director	28.11.24	Donna Corbin, NP Working Group

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A photograph of the Swarland Village Hall, a two-story building with dark grey horizontal siding and white window frames. A green circular overlay is positioned in the upper center of the image, containing the text '01 Introduction'. Below the overlay, a yellow sign with red lettering reads 'SWARLAND VILLAGE HALL'. The entrance features a wooden door with a silver handle, flanked by white pillars. A small light fixture is mounted above the door. To the right of the door, there is a notice board with various papers and a metal railing.

01

Introduction

SWARLAND
VILLAGE HALL

1. Introduction

1.1 Background

The Newton on the Moor and Swarland Neighbourhood Plan Group (NSNPG) was allocated AECOM's support by Locality to establish a design guide with a number of design codes to influence the character and design of new development within the Neighbourhood Area (NA).

The design codes and principles outlined in this report will cover topics relating to the context, issues and opportunities applicable to the area. The guidance and design codes are underpinned by a baseline assessment of the built character across the Neighbourhood Area's settlements as well as its landscape character.

This design code document covers the whole plan area, but with a focus on the villages of Swarland and Newton on the Moor. Both settlements are where a majority of planning applications are proposed, and where future development will be concentrated.

1.2 Aims

- To positively influence the character and design of new development within the Neighbourhood Area.
- To produce an appraisal of the Neighbourhood Areas settlements and their rural context.
- To identify area types and character areas for larger settlements.
- To provide design guidance and codes to promote context-sensitive development proposals.

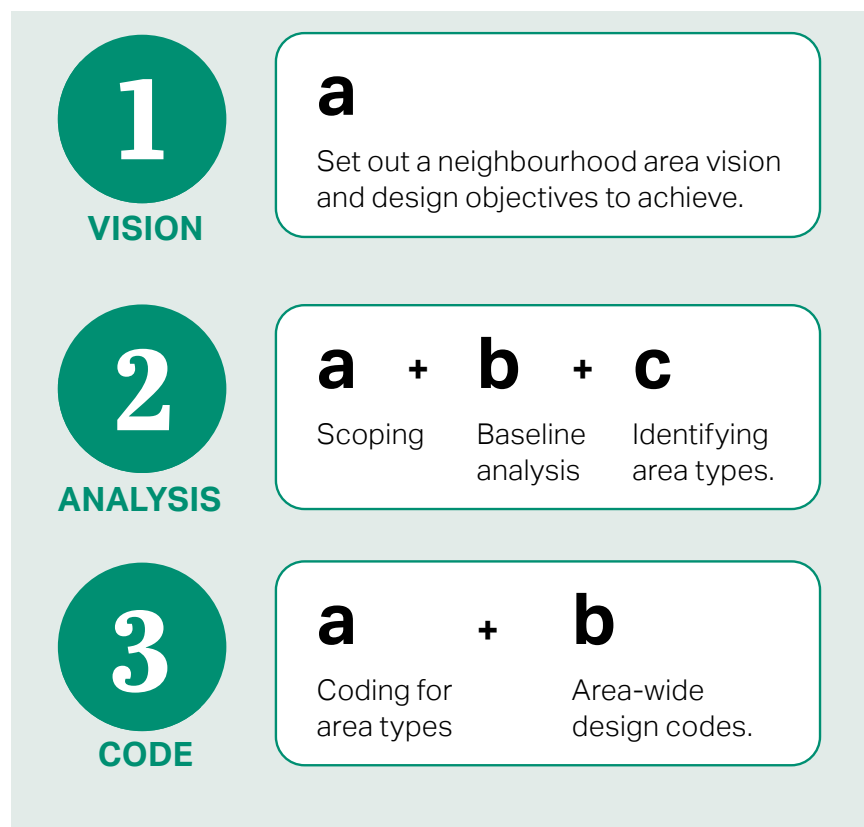


Figure 01: Diagram highlighting the design code process for the neighbourhood area (adapted from National Model Design Code).

1.3 Neighbourhood area

The Neighbourhood Area is host to two settlements; Newton on the Moor and Swarland. Northumberland is situated in the northeast of England, bordering Scotland to the north. These villages are part of the rural landscape of Northumberland, known for its picturesque countryside, historical sites, and proximity to the Northumberland National Park.

Swarland is the area's most significant settlement, having the largest population, number of buildings and highest concentration of facilities. It is located to the southeast of Newton on the Moor, and both villages are part of the wider Alnwick district. Alnwick, a market town known for its historic castle and gardens, is located a few miles to the northeast.

Newton on the Moor is a small village with a rural character, surrounded by farmland and greenery. It is situated approximately 30 miles north of Newcastle upon Tyne, one of the major cities in the region. The village is known for its charming architecture, including traditional stone-built houses.

The region is characterized by its rolling hills, open fields, and proximity to the North Sea. Residents and visitors to Swarland and Newton on the Moor enjoy a peaceful and scenic environment, while still having access to the amenities and cultural attractions of nearby towns and villages. The area is well-connected by car, with the A1 running through it north to south, making it accessible for those exploring the diverse landscapes and historic sites of Northumberland.

Key features of the Neighbourhood Area:

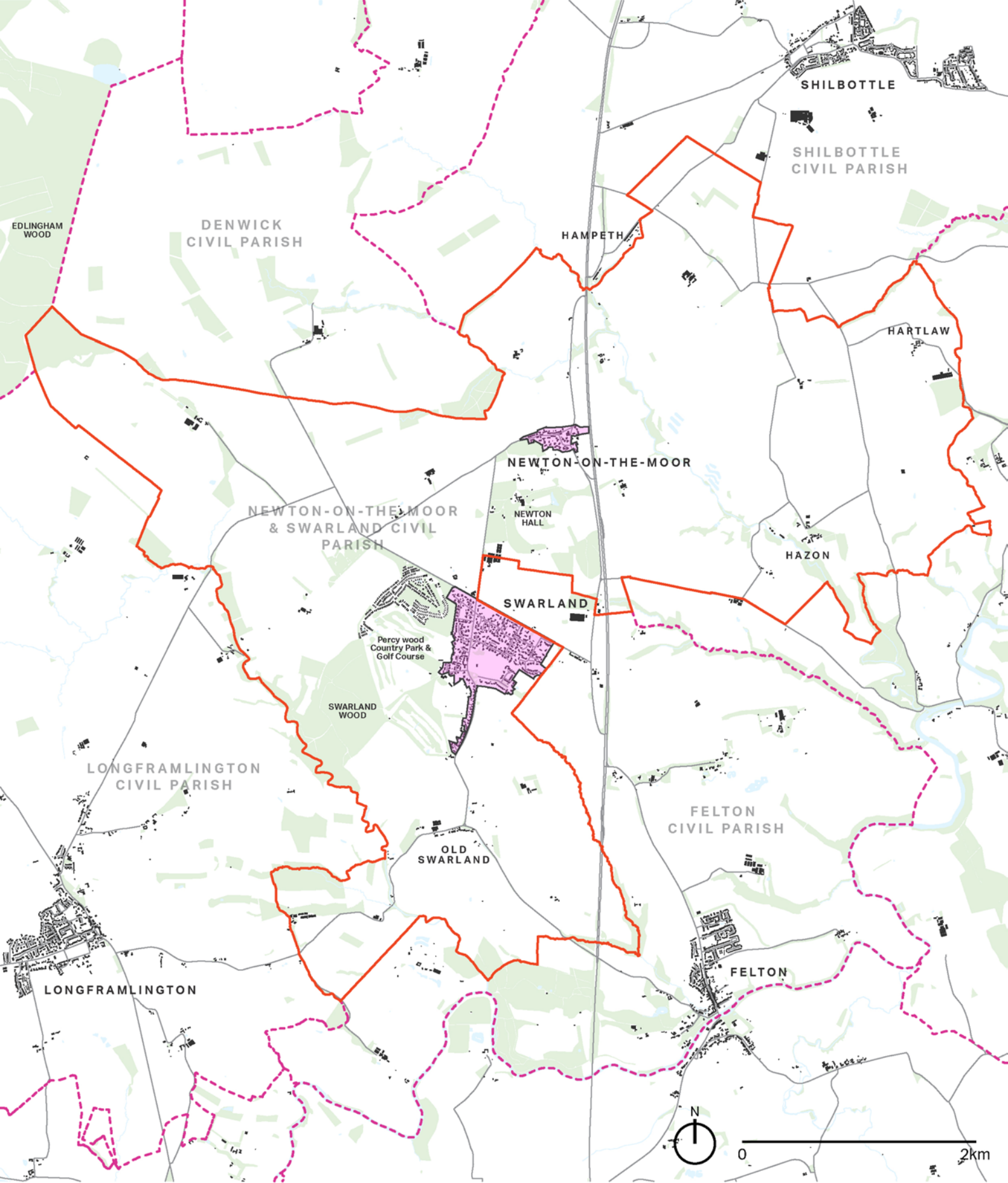
- Four settlements including two villages (Swarland and Newton on the Moor) and two hamlets (Hazon and Hartlaw)
- Swarland Wood and the Percy Wood Country Park and Golf Course
- Rural setting with landscape a key feature of the area's appeal and character
- Number of heritage assets (Conservation Area, Listed buildings and Scheduled Ancient Monuments) distributed across its settlements as well as across the open countryside
- There is no regular public transport (just a very restricted Saturday bus service). As such, private cars are used to access wider services.



Figure 02: Typical Park Road 1.5 -storey cottage fronting Park Road in Swarland



Figure 03: Typical 1-storey cottage fronting the main street through Newton on the Moor



- Neighbourhood Area boundary
- Settlement boundary
- - - Neighbouring Parish boundaries

Figure 04: Map showing the Neighbourhood Area of Newton on the Moor and Swarland Civil Parish.

1.4 Vision

The vision for the Neighbourhood Area is as follows:

Throughout the Plan period until 2036, we will take opportunities to improve the natural and built environment, our communities and the lives of everyone in the Parish whilst preserving the distinctiveness of each of the settlements of Swarland, Newton on the Moor, Hazon and Hartlaw, and maintaining the beautiful rural and architectural environment of the Parish.

Design objectives:

By 2036 new developments will have helped to achieve the Vision for the Neighbourhood Area by:

- *Taking opportunities to preserve and enhance the natural and built environment.*
- *Maintaining traditional plot boundary features such as masonry walls and traditional timber fencing.*
- *Maintaining traditional rural boundary features such as hedgerows, hedges and tree planting.*
- *Achieving sustainability standards – SuDS, biodiversity and renewable energy and minimising resource use.*
- *Retaining and enhancing the built and natural character of the settlements and their distinct areas.*
- *Being sympathetic to traditional local styles of architecture and incorporating features and details that respond to local characteristics.*
- *Responding to the topography and landscape setting by considering key views so as not to overwhelm the beauty and tranquillity of the rural setting.*



1.5 Who should use the guide and codes

This document is a valuable tool in securing context-driven, high quality development. It will be used differently by different people in the planning and development process. Table 01 below gives a brief summary of how this document may be used by key potential users.

This document will be effective when used as part of a co-design process, actively involving key stakeholders, to establish local preferences and expectations of design quality. Through active participation and conversation, key stakeholders can use the guide to shape the key issues and ways to adequately respond to them in future development.

This document alone will not automatically secure quality design outcomes, but it will help to prevent poor outcomes by creating a rigorous process that establishes expectations and raises standards for design quality.

Potential users	How they will use the design guidelines
Applicants, developers, & designers	As a guide to community and Local Planning Authority expectations on design in order to establish a degree of certainty. This document must be followed as a material consideration when planning consent is sought.
Local Planning Authority	As a material consideration, embedded in policy together with the neighbourhood plan, against which to assess planning applications. This document should be considered during any pre-application discussions.
Parish Council or Neighbourhood Plan Group	As a tool to help structure comments on planning applications by highlighting the issues of key importance, to assess whether applications are positive or negative, and to indicate where further considerations are required.
Community groups & local residents	As a tool to allow the local community to highlight their key issues and concerns and ensure that development has a positive impact on the character of the neighbourhood plan area.
Statutory consultees	As a reference point when commenting on planning applications by providing an overview on the neighbourhood plan area and its character and by indicating the local community's main areas of concern.

Table 01: User groups and how they will use the guidance.

1.6 Planning policy and design guidance

There are several national and local planning policy and guidance documents that have been referred to in the development of this design guide and the codes featured in it. This section highlights recent government initiatives such as the National Design Guide and Homes England adoption of Building For a Healthy Life.

1.6.1 National policy

National Planning Policy Framework (Revised December 2023)

The National Planning Policy Framework (NPPF) outlines the UK Government's overarching economic, environmental and social planning policies for England. It is a high-level document that attempts to make good design pivotal and to put communities at the heart of planning. The policies within the NPPF apply to the preparation of local and neighbourhood plan areas, and act as a framework against which

decisions are made on planning applications.

The NPPF states that a key objective of the planning system is to contribute to the achievement of sustainable development.

The parts of the NPPF which are of particular relevance to this document are:

- Part 2: Achieving sustainable development;
- Part 5: Delivering a sufficient supply of homes;
- Part 8: Promoting healthy and safe communities;
- Part 9: Promoting sustainable transport;
- Part 12: Achieving well-designed and beautiful places;
- Part 15: Conserving and enhancing the natural environment; and
- Part 16: Conserving and enhancing the historic environment.

Part 12 (Achieving well-designed and beautiful places) emphasises the need to create high-quality, beautiful and sustainable buildings and places as fundamental to what the

planning and development process should achieve.

The NPPF can be found at the following link:

<https://www.gov.uk/government/publications/national-planning-policy-framework--2>.

Permitted Development Rights

Permitted development rights allow the improvement or extension of homes without the need to apply for planning permission where that would be out of proportion with the impact of the works carried out. For further information, please refer to the following link: <https://www.gov.uk/government/publications/permitteddevelopment-rights-for-householderstechnical-guidance>.

The Building Regulations 2010

The Building Regulations 2010 cover the construction and extension of buildings. Building regulations approval is separate from planning permission and both may be required. Building regulations approval may also be required for alteration projects including:

- replacing fuse boxes and connected electrics;
- installing a bathroom that will involve plumbing;
- changing electrics near a bath or shower;

- putting in a fixed air-conditioning system;
- replacing windows and doors;
- replacing roof coverings on pitched and flat roofs;
- installing or replacing a heating system; and
- adding extra radiators to a heating system.

The Building Regulations 2010 can be found at the following link: <https://www.legislation.gov.uk/ukxi/2010/2214/contents/made>.

The Future Homes Standard (emerging)

The emerging Future Homes Standard (FHS) will complement the Building Regulations 2010 and aims to ensure that new homes built from 2025 produce 75-80% less carbon emissions than homes delivered under the existing regulations. The FHS aims to decarbonise new homes by focusing on improving heating, hot water systems, and reducing waste. This will be achieved in part by replacing current technologies with low-carbon alternatives.

To meet the specifications set out in the FHS, the Government updated Parts F and L of the current Building Regulations in 2021. These specifications must be adhered to when constructing, extending or renovating UK homes. Part F introduces new standards for ventilation, while Part L sets out minimum energy efficiency performance targets for buildings, airtightness requirements and improved minimum insulation standards.

For further information on the changes to Part L and Part F, please refer to the following link: <https://www.gov.uk/government/consultations/the-futurehomes-standard-changes-to-part-l-andpart-f-of-the-building-regulations-for-new-dwellings>.

1.6.2 National guidance

National Design Guide (2019)

The National Design Guide (NDG) sets the ten characteristics of a well-designed place and demonstrates what good design is in practice. The characteristics are: Context; Identity; Built Form; Movement; Nature; Public Spaces; Uses; Homes & Buildings; Resources; and, Lifespan.

The NDG should be used as an overarching reference for new development where topics are not covered in local guidance. The NDG notes that a well-designed place is unlikely to be achieved by focusing only on the appearance, materials and detailing of buildings.

The NDG can be found at the following link: <https://www.gov.uk/government/publications/national-design-guide>.

Building for a Healthy Life (2020)

Building for a Healthy Life (BHL) was formerly known as Building for Life and is the Government-endorsed industry standard for well-designed homes and

neighbourhoods. The new name reflects the key role that the built environment has in promoting wellbeing.

The BHL toolkit sets out principles to help guide discussions on planning applications and to help local planning authorities to assess the quality of proposed schemes, as well as useful prompts and questions for planning applicants to consider during the different stages of the design process.

BHL can be found at the following link: <https://www.udg.org.uk/publications/othermanuals/building-healthy-life>.

Manual for Streets (2007)

Manual for Streets (MfS) aims to bring about a fundamental culture change in the way streets are designed and adopted. It comprises technical guidance focusing on lightly-trafficked residential streets. Many of its key principles may be applicable to other types of street, for example high streets and lightly-trafficked lanes in rural areas. MfS is used predominantly for the design, construction, adoption and maintenance

of new residential streets, but it is also applicable to existing residential streets subject to redesign.

MfS can be found at the following link: <https://assets.publishing.service.gov.uk/>



Figure 05: The front cover of the National Design Guide.



Figure 06: The front cover of Building for a Healthy Life.

National Model Design Code (2021)

The National Model Design Code (NMDC) is the Government's detailed guidance on the production of design codes, guidelines and policies to promote successful design. It expands on the 10 characteristics illustrated in the adjacent graphic.

The NMDC and NDG are companion documents setting out characteristics of well-designed places. They support the ambitions of the National Planning Policy Framework (NPPF) to utilise the planning and development process in the creation of high-quality place-making. The NDG states that "specific, detailed and measurable criteria for good design are most appropriately set at the local level"

The guides are expected to be used by local authorities, applicants and local communities to establish further design codes and guidance (such as this document) that can deliver in line with local objectives.

The NMDC can be found at the following link: <https://www.gov.uk/government/publications/national-model-design-code>.

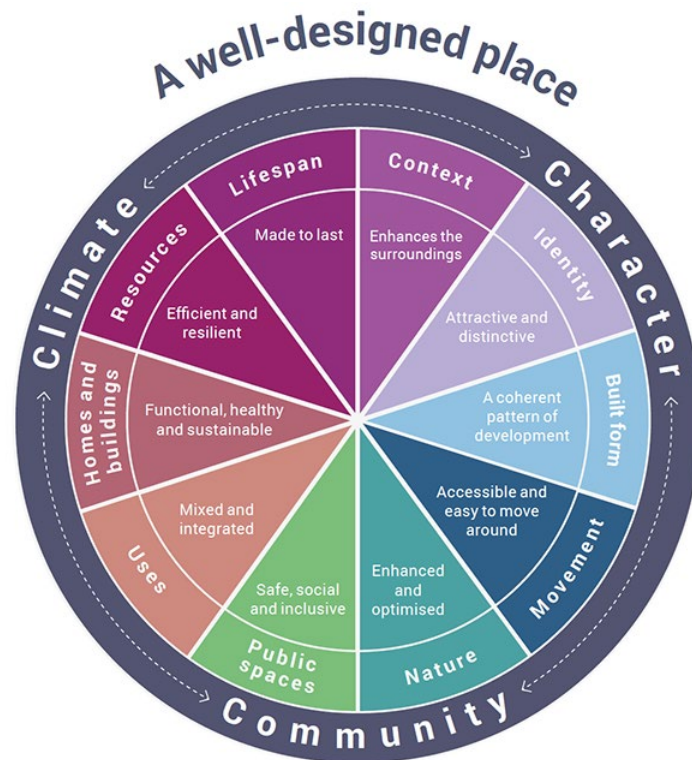


Figure 07: The 10 characteristics of a well-designed place from the National Model Design Code (2021).



Figure 08: The front cover of the National Model Design Code (Part 1: The Coding Process).

1.6.3 Local Planning Policy & Guidance

The Newton on the Moor and Swarland Neighbourhood Area is under the jurisdiction of two levels of local authorities with Northumberland County Council as Local Planning Authority (LPA) and Newton on the Moor and Swarland Parish Council at the civil parish level. The following local planning and design documents were reviewed to understand the policy context under which this document has been produced. The primary local planning policy and guidance documents include the Northumberland Local Plan and Northumberland Landscape Character Assessment.

Northumberland Local Plan 2016 - 2036

This document was adopted in March 2022 and provides an up-to-date basis for making planning decisions on the thousands of applications submitted to the LPA each year. The plan sets out a set of policies, proposals and allocations setting out how and where land is to be developed with new homes, places

of employment, services and facilities. Both Local Plans and Neighbourhood Plans are development plans prepared by local communities and together form the statutory framework for future development of land and buildings.

The following policies are relevant to future development within the Neighbourhood Area based off Local Plan designations and those relevant to the remit of this design code report:

- Policy STP 4 - Climate change mitigation and adaptation
- Policy STP 6 - Green infrastructure
- Policy ECN - General employment land - allocations and safeguarding
- Policy ECN - Key general employment areas for main employment area
- Policy ECN 11 - Employment uses in built-up areas and home working
- Policy HOU 2 - Provision of new residential development

- Policy QOP 1 - Design principles
- Policy QOP 2 - Good design and amenity
- Policy QOP 3 - Public realm design principles
- Policy QOP 4 - Landscaping and trees
- Policy QOP 5 - Sustainable design and construction
- Policy ENV 2 - Biodiversity and geodiversity
- Policy ENV 3 - Landscape

Northumberland Landscape Character Assessment

Published in August 2010 this document outlines the landscape character features of Northumberland as well determining a number of landscape classifications as per a set range of landscape features appraised across the county. The document builds on the National Character Areas by dividing areas of Northumberland into Landscape Character Types and into the more geographically discrete Landscape Character Areas.

1.7 Site visits and engagement

An inception call between AECOM and representatives of the NPSG took place on 3.11.23. The key issues noted as important by the community included:

- Rural location and access to the countryside
- Landscape character
- Building height and scale
- Village character (its buildings and history)
- Key views looking into and out of the village
- The affect of Percy Wood Country Park on the character of Swarland

A site visit led by members of the NPSG occurred on 20.11.2023. The tour covered the neighbourhood area including main residential streets, key amenities, local green spaces and the surrounding countryside.

The visit allowed AECOM consultants to gather an extensive photographic survey and undertake a comprehensive place and character analysis based on a combination of data and local insight.

2024 consultation and revision;

The NPSG advertised a 6-week public consultation event on the Parish Council website, The Column newsletter and other notices from the end April 2024. Following on, AECOM met the NPSG and Northumberland County Council representative in person on 9.10.24, to discuss the feedback and clarify updates to the Design Codes. Significant changes were incorporated throughout this document as a result, including further improvements provided by the NPSG and Northumberland County Council.

The following steps have informed the engagement underpin the design code:

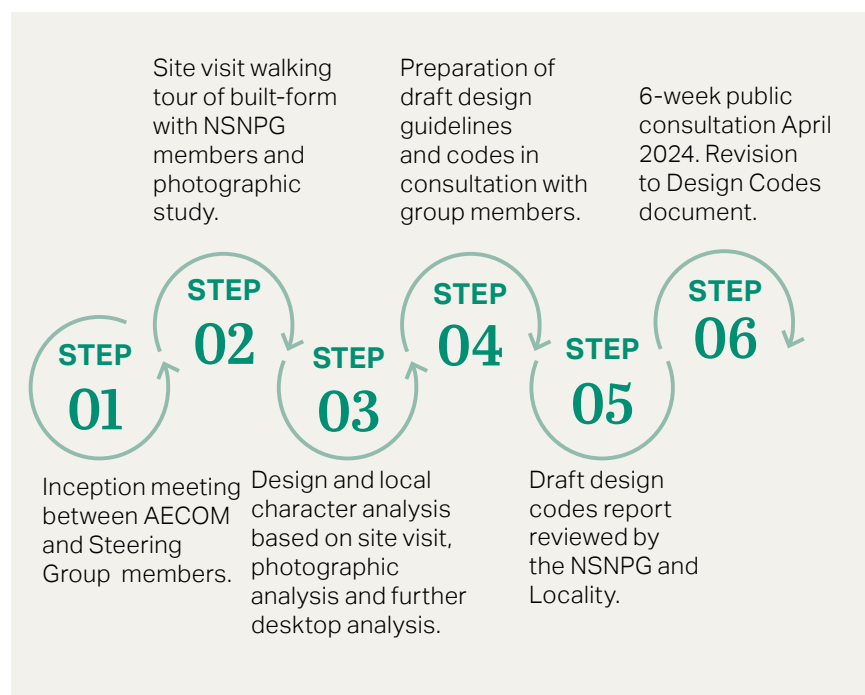


Figure 09: Nelson's at the Park - a popular community cafe located in Swarland's Vyner Park

A photograph of a two-story stone house with a gabled roof and a central chimney. The house is framed by large trees with bare branches and ivy-covered trunks. A large green circle is overlaid on the upper half of the image, containing the number '02' and the text 'Area-specific design codes'.

02

**Area-specific
design codes**

2. Area-specific design codes

This section includes character analysis and area-specific design codes for:

Area type 1: Villages

- 2.1 Swarland
- 2.2 Newton on the Moor
- 2.3 Village edges & building height

Area type 2: Rural settlements

- 2.4 Rural settlements: Old Swarland, Hazon and Hartlaw

Area Type 3: Other

- 2.5 Percy Wood Country Park

The analysis highlights positive and negative qualities, distinctive features and constraints for each type or settlement.

The design codes set out characteristic design responses for each one to retain and reinforce the character that makes these places special.

2.1 Swarland (village)

Swarland is the NA's largest settlement and is where a majority of local services and community facilities are concentrated, including Swarland Primary School,

Village Hall and Vyner Park.

The Village Hall was built and opened in 1939 and in 1988 it became a Grade II Listed building. Today the Hall is a charity which is run by Trustees and a committee of local residents; it is a much-valued village amenity.

Swarland is a modern village in comparison to Newton on the Moor. Whilst dating back in parts to the thirteenth century, for the most part it arose from a the philanthropical social experiment of a man called Clare Vyner who developed part of the Swarland estate as a land settlement scheme for unemployed tradesmen and their families from Tyneside.

The scheme was designed to provide smallholdings with housing and land for people suffering from the Great Depression of the 1930s. The intention was to provide not only housing (bungalows to a set design) but facilities for employment, education, leisure, health and general well being. An example of one of the original bungalows can be seen at Figure 11.

This is reflected in its built form where an array of development periods front its streets (see following character area analysis). This said, the village has several housing types, materials and features contributing to its settlement character and distinctiveness. For example, the pale rendered cottages such as those in The Square and along Park Road constitute the area's local vernacular and historic development.



Figure 10: Grade II Listed Swarland Village Hall



Figure 11: Symmetrical alignment of the Park Road cottages



Figure 12: Flat roofed Grade II Listed building fronting Nelson Drive



Figure 13: North Lodge on Park Road



Figure 14: Sandstone heritage asset fronting The Avenue



Figure 15: Park Road cottages



Figure 16: The Square - the village 'centre' of Swarland

2.1.1 Swarland's character sub-areas

As the largest settlement in the neighbourhood area, it is appropriate to set out sub-areas within the village to inform design responses on a more detailed level where appropriate.

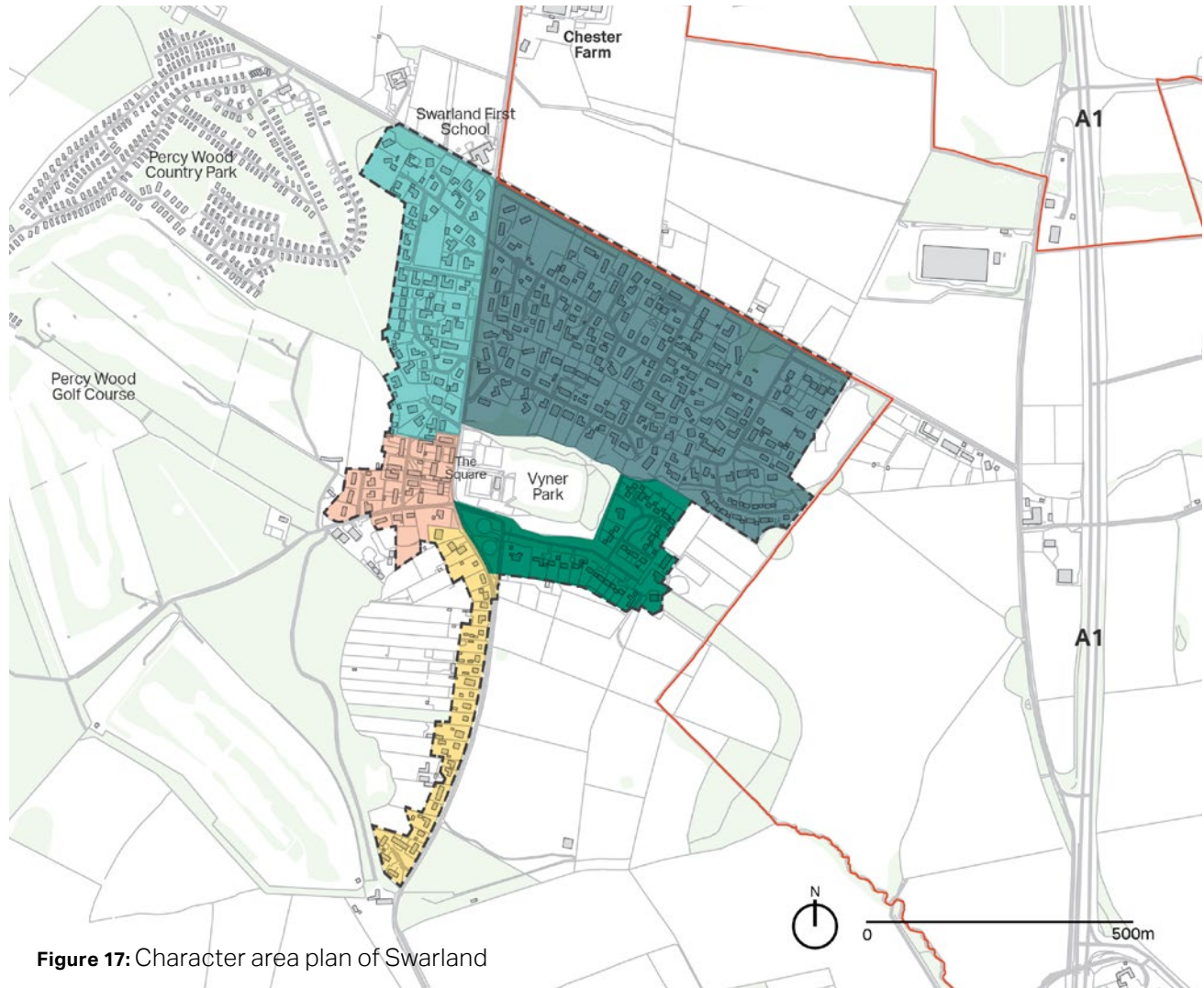


Figure 17: Character area plan of Swarland

The area types identified across the Newton on the Moor and Swarland NA:

1

North-east housing area

4

Old Park Road

2

North-west housing area

5

Park Road

3

The Square and adjacent area

1

North-east housing area

2.1.2 North-east housing area

This is considered to be the main housing area of Swarland and contains a mix of housing types in terms of both style, size, materials used and boundary treatments. Some properties have been developed from the original settlers single storey properties. The flat roofed Grade II listed property in Nelson Drive referred to in the Design Code is an undeveloped settlers property in this area.



Figure 19: View of Kenmore Road



Figure 18: Two storey house on Low Wood

2

North-west housing area

2.1.3 North-west housing area

This area includes a series of cul-de-sac lanes branching off The Avenue to the west (from Chesterwell to Leamington Lane). Bungalows are predominant in this area. Some properties have been developed from the original settlers single storey dwellings.



Figure 20: Bungalow on Percy Drive



Figure 21: View of Percy Drive

3

The Square and adjacent area

2.1.4 The Square and adjacent area

The Square and Tweedmill Lane is made up of a number of properties that form the historic core. The properties are mainly 1-1.5 storeys, rendered or made of sandstone, under slate roofs. North Lodge on the corner of Coast View where it joins Park Road was the lodge to Swarland Hall, the ruins of Swarland Hall are in Swarland Wood. Coast View is a mix of mainly 1 to 1.5 storey properties. Coast View goes up to Springwood but also turns toward the Village Club and Swarland Village Hall and beyond until it reaches Tweedmill Lane. Springwood contains a mix of 1-1.5 storey properties and has Swarland Wood to the west and open land to the north.



Figure 22: Coast View

4

Old Park Road

2.1.5 Old Park Road

This road has one bungalow, Lislewood, on the original road, a house known as The Park at the most easterly point of the road and a new development of houses. Two new houses are also being constructed in the triangle of land between Old Park Road and Park Road ('the triangle'). The newer properties in Old Park Road are mainly two storey properties with just two one storey bungalows. Old Park Road, however, has a considerable change in gradient and so the topography enables the two storey properties to be less visible within the landscape of the village. Of the two properties being built in the triangle, one is being built as a 1.5 storey property and the other as a 2 storey property. The latter will have more tree screening but will be very visible because of its location on a high ridge.



Figure 24: View across park to Old Park Road



Figure 23: Two storey house on Old Park Road

5

Park Road

2.1.6 Park Road

The Park Road bungalows are the most iconic street scene within Swarland. They are visible from the A1. These are the original settlers flat roofed single storey properties with 1.5 acres of land. Most of the plots still go right back to the edge of Swarland Wood. Some have been developed into 1.5 storey properties. Three are listed buildings 24,28 and 40. Some have obtained permission to develop land to the rear of their properties. The Park Road bungalows are extremely important for the historic perspective that they give to the village and, as such they are included in the Schedule of Non Designated Heritage Assets. Douglas Crescent is a road of single storey bungalows some of which have been developed into the roof space to form 1.5 storey properties.



Figure 26: View of Park Road



Figure 25: 1.5 storey detached house on Park Road

Typical local features: Swarland

Roof



Grey slate tiles



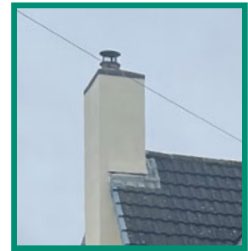
Red clay pantiles



High pitched roofs



Projecting gables

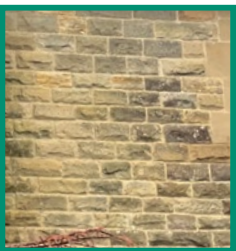


Chimney stack and clay pot

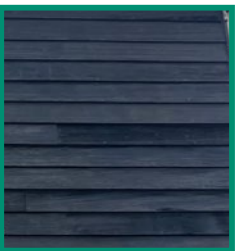
Facade



Pale render



Sandstone

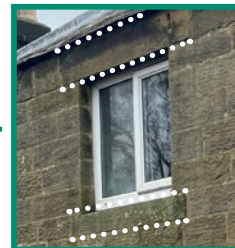


Timber cladding

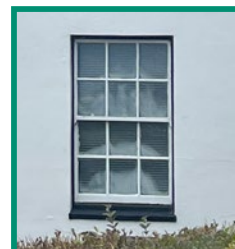
Windows



Gable dormers are a common type of dormer

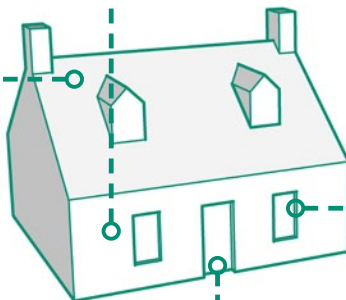


Sandstone header and sills - found on most sandstone buildings within Swarland



Paned sash windows

Illustrative example of a typical Park Road cottage



Doors



Simple timber door



Timber door with wrought iron detail

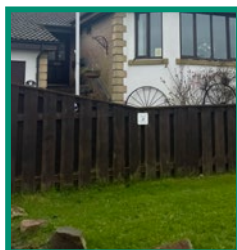
Boundary treatments



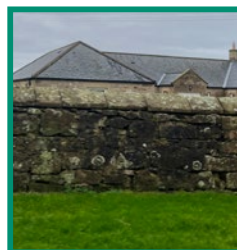
Hedge



Timber paddock (open board horizontal) fencing and gates



Vertical open board fencing



Sandstone wall

Precedent development

Due to the size and rural character of Swarland, future planning applications coming forward will typically be infill development, conversions, single storey extensions and dormer windows. The following examples highlight 'good' design features of infill developments in Swarland.

● Good design feature



- Locally used materials of red clay tiles for the roof and sandstone facade
- Use of timber as feature on dormer windows
- 1.5 storey building height with vertically and horizontally aligned windows and dormer windows
- Combination of hedge and timber paddock fencing boundary treatment
- Masonry window detailing (i.e. brick header and sandstone sills)



- On the right hand property, the use of hung-tiles on the dormer reflects the roof slate tiles and boarding on the porch reflects is painted to reflect the existing property colours. However the form and scale has been changed considerably.
- The small-scale dormer and skylight windows retain the original form of the property on the left.

A. Swarland design codes

The following design codes reference many of the local vernacular features outlined on the previous spread. While Swarland's built form represents a wide variety of styles, the local vernacular features highlight some of the village's more historic design features that reflect its heritage and origins.

As the largest settlement in the Parish, Swarland is where a majority of planning applications will come forward, both from its existing development (i.e. extensions) and prospective windfall sites (i.e. infill developments).

A1. Architectural detailing - Only simple architectural detailing should be used to reflect the detailing of Swarland's built form. These features are outlined on pages 22-23 where Swarland's local vernacular features are highlighted. Significant buildings (i.e. civic buildings or buildings in landmark spaces) must have a higher degree of detailing such as the North Lodge where sandstone ornatation are used in the facade and roof treatments.

A2. Boundary treatments - Due to the mix of boundary treatments across Swarland, boundaries within new builds should reference nearby precedent, whether that be low rise sandstone walls, timber paddock fencing (not close board fencing) or hedge.

A3. Retaining trees and hedgerows - Hedgerows are a prominent streetscape feature and must be retained. They are particularly prominent along Park Road, Nelson Road, Leamington Lane and Kenmore Road. In exceptional circumstances where hedgerows cannot be retained, all planting should be replaced on a like for like (1:1 ratio) basis. Mature tree canopies are another prominent feature of Swarland. They are particularly prominent along The Avenue, Leamington Lane, Old Park Road, and in the space between Percy Wood Country Park. These areas must retain their mature tree canopy cover.

A4. Door and window treatments - Door treatments should include simple sandstone window headers. Doors themselves should be timber or timber effect to reflect the village's local vernacular. Window treatments should include the use of sandstone headers, sils, and mullions. Windows themselves should include paned glass and sash or imitation sash treatments.

A5. Backland development - Backland developments should not be larger in height, massing, or scale than the existing dwelling. The privacy, integrity, and amenity of the existing dwelling must be maintained. Only on exceptionally large plots would it be deemed acceptable for any backland proposal to be larger or vary in character to that of the original dwelling. Backland development is considered unacceptable in the Park Road sub-area to maintain the integrity of the historic burgage plots.

A6. Access and layout of backland development - Backland development must avoid tandem development by ensuring appropriate spacing, access, and that the overall configuration does not adversely affect the amenity of the original (or surrounding) dwellings.

A7. Character area response - Refer to 2.1.1 to understand the 5 sub-areas of Swarland. Although the 'village character area type' is overarching for the settlement, there are different building types, scales and material patterns that predominate in each area. Although there is a mix of characters across the settlement, the 'Typical Local features' (see page 22) provide a quick guide to understand the settlement as a whole.

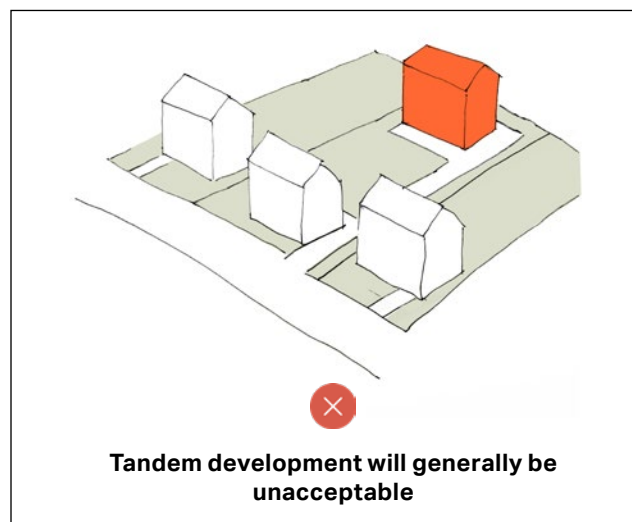
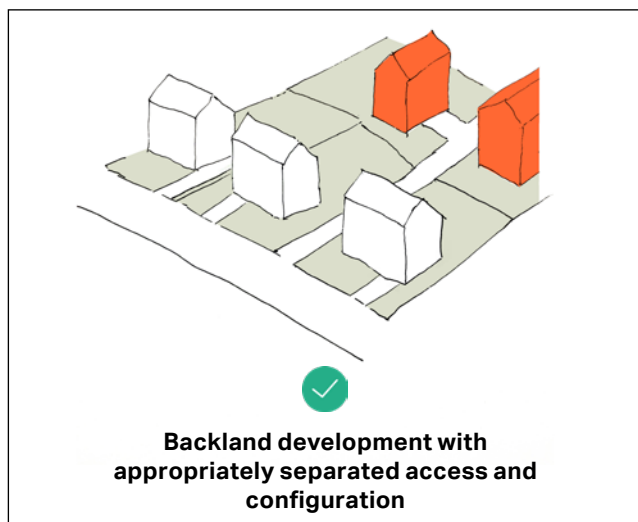


Figure 27: Proposed backland development needs to avoid tandem development which is where a dwelling placed immediately behind an existing dwelling and is served by the same vehicular access. Backland proposals should ensure there is appropriate spacing between existing dwellings.



Figure 28: Local example of what could be achieved by referencing slate tiles and timber materiality of Swarland's local vernacular



Figure 29: North Lodge garage - new build garage of North Lodge harmonising with the main dwelling by incorporating character detailing from North Lodge



Figure 30: North Lodge extension - new build extension harmonising with the materials and style of the original lodge building

2.2 Newton on the Moor (village)

Newton is the smaller of the two villages and has a distinct character reflected by its uniform materiality and 1-storey buildings. The village is host to the Parish's only conservation area.

A manor house was built in Newton on the Moor around the late 1600s and is Grade II Listed. By the late 1600s a two-storey townhouse was built by a prominent Alnwick family, the Strothers. This has since been reduced to one storey and a Victorian extension was added in the late 19th century; both are Grade II Listed and now known as the Jubilee Hall. The Jubilee Hall is a centre of the community with regular groups meeting here. The Cook & Barker Inn public house is another key building of the village.

The village has remained relatively unchanged with any expansion limited to small-scale developments such as the Hudson Croft bungalows and several single-dwelling infill dwellings on the adjacent plots.



Figure 31: Stone commemoration plaque

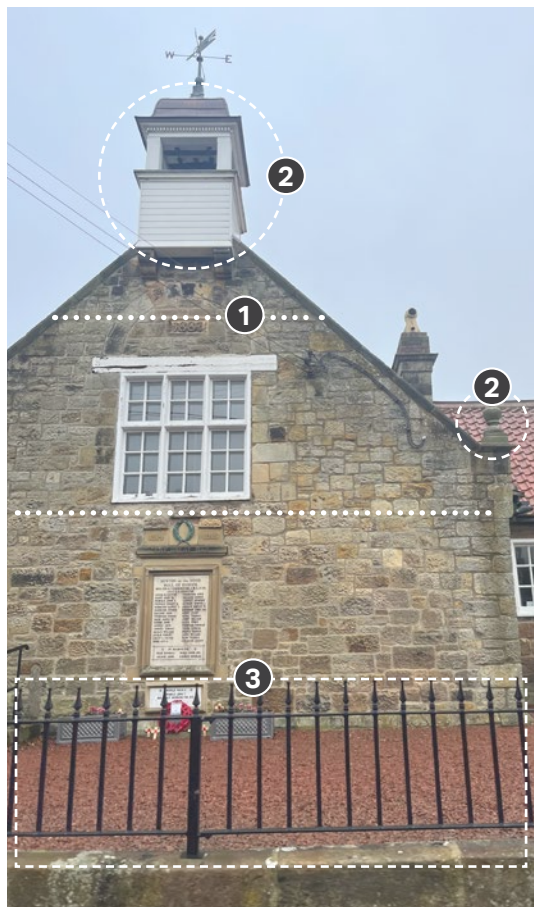


Figure 32: Grade II Listed Jubilee Hall fronting the village's main street

1. Two-storey buildings such as the Jubilee Hall are an exception, as a majority of buildings in the village are 1-1.5 storeys
2. Ornate detailing such as stone finials and shapes/patterns in the facade are limited to more significant buildings such as the Jubilee Hall
3. Low sandstone wall with wrought iron fencing used for boundary treatments along the village's main street



Figure 33: Only larger or significant buildings such as the Cook and Barker Inn are 2-storeys in height



Figure 34: Typical one-storey cottage fronting the village's main street



Figure 35: One of several informal tracks leading off from the village's main street



Figure 36: Former Methodist Church now converted into a residential dwelling



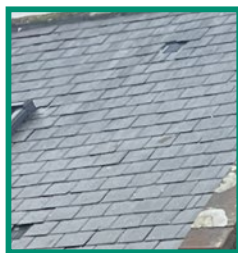
Figure 37: One of the few 2-storey buildings in the village

Local vernacular features: Newton on the Moor

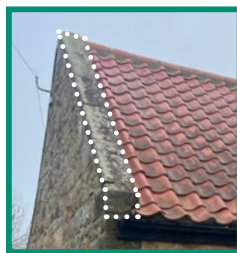
Roof



Red clay pantiles (most commonly used along main street)



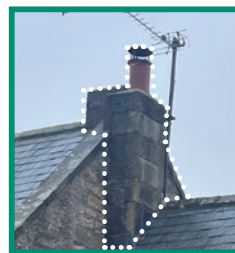
Slate tiles (occasionally used)



Sandstone coping



Stepped roofline responding to topography

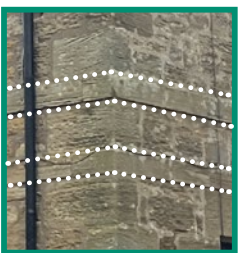


Sandstone chimney stacks and clay pots

Facade



Sandstone facade

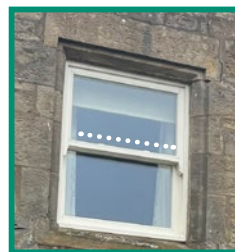


Sandstone course line



Simple facade ornament (i.e. date plaque)

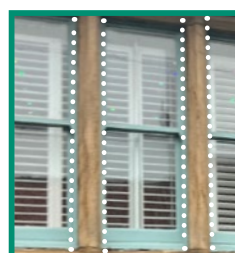
Windows



Mix of sash and casement windows (several imitation sash windows on newer windows)



Sandstone header and sills - found on most buildings within the village

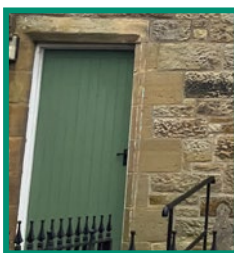


Sandstone mullions (typically on civic / significant buildings)

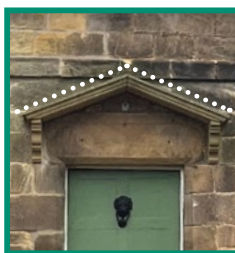
Doors



Sandstone header above most doors

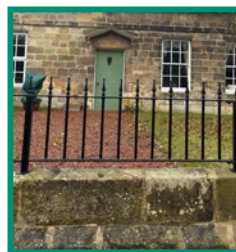


Green timber doors (particularly along main street)

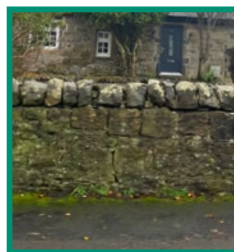


Ornate door header above door of civic and significant buildings

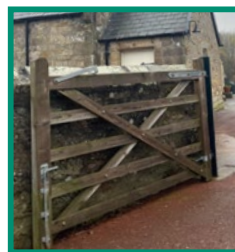
Boundary treatments



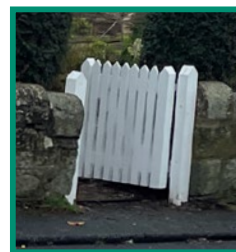
Low sandstone wall with wrought iron fence (mostly along the main street and civic buildings)



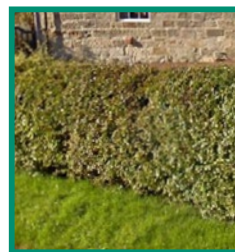
Low sandstone wall boundary typical of most plots



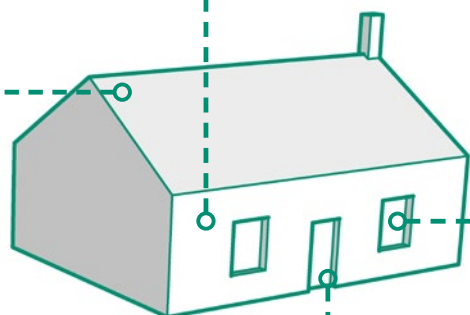
Timber paddock gate where private driveways are present



Houses along the main street have white timber gates or black wrought iron gates



Hedge



Typical one-storey cottage along Newton on the Moor's main street

Precedent development

Due to the size and historic character of Newton, future planning applications coming forward will typically constitute small-scale development such as single storey extensions and dormer windows. The following examples highlight 'good' design features of several developments.

● Good design feature



- Appropriately scaled extension in relation the existing dwelling
- Locally used materials of red clay pantiles for the roof and sandstone for the facade
- Continuing fenestration alignment of existing dwelling as well as window treatment (i.e. sandstone header and sil)



- Appropriately scaled (i.e. one-storey) infill dwelling in relation to surrounding dwellings
- Locally used materials with sandstone facade and grey slate roof
- Incorporating locally found detailing such as sandstone quoins and coping as well as sandstone and wrought iron boundary treatment to the side of the dwelling



- Appropriately scaled extension in relation the existing dwelling
- Cohesion with existing dwelling by emulating overall design and materials
- Continuing fenestration alignment of existing dwelling as well as window treatment (i.e. sandstone header and sil)

The following codes relate to the local vernacular features outlined on the previous pages. These features are unique to Newton on the Moor and differ to some of the features found within Swarland.

This represents the individuality and distinct built characters of each village and how future proposals should reflect this within their design response. Many of the below codes and local vernacular features reference the Newton on the Moor Conservation Area Appraisal document as well as additional design analysis.

B1. Architectural detailing - Only simple architectural detailing should be used to reflect the subtle detailing of the village's historic cottages and buildings. However, significant buildings (i.e. civic functions) must have a higher degree of detailing such as the Jubilee Hall where further timber and sandstone oration are used in the facade and roof treatments. Refer to pages 26-29 for typical architectural features.

B2. Boundary treatments - Significant buildings (i.e. such as the Jubilee Hall and The Cook & Barker Inn) should have a low rise sandstone wall with wrought iron fencing boundary treatment. This reflects the relative importance (i.e. community functions) of these buildings in relation to typical houses. All other buildings should have low rise sandstone wall or hedge boundary treatments.

B3. Setbacks - Along the main street, plots on the northern side should be setback from the road with front gardens, while properties on the southern side should directly front the street (with rear/side access).

B4. Roofscape and chimneys - Newton on the Moor has a distinct red clay pantile roofscape as outlined in the village's Conservation Area appraisal document. This must be protected by ensuring new development (i.e. infill development, dormer windows and extensions) includes red clay pantiles and its features harmonise with them.

New homes or extensions could include sandstone chimneys with red clay chimney pots. Chimneys contribute to the village's distinctive roofscape.

B5. Door and window treatments - Door treatments should include simple sandstone window headers. Doors themselves should be timber with minimal glazing to reflect the prevailing door treatments of the village's cottages.

Windows treatments should include the use of sandstone headers, sils, and mullions. Windows themselves should include paned glass and sash or imitation sash treatments.

B6. Driveway and front garden materials - Driveways and/or front gardens should use red/orange gravel as many plots within the village have this driveway treatment. This ties in with the village's distinctive red clay pantile roofscape.

B7. Conservation Area gateways - Access points to the Conservation Area should not be developed to preserve the existing character and their views from and to the settlement.

B8. Setting of the Conservation Area - New development within the wider setting of the Conservation Area should aim to reflect general characteristics, such as materials and massing, found in the Conservation Area.



Figure 38: Recent build in Swarland with an attractive frontage (paddock fencing and hedging boundary treatment) and use of local materials



Figure 39: Two storey building including abundant vegetation and local materials



Figure 40: Existing building and new build extension at rear mirroring the gable, materials, and overall design of the original building



Figure 41: Vertically aligned fenestration and attractive window treatments using panelling and subtle colour



Figure 42: Two-storey building in the Neighbourhood Area with local materials in the elevations, boundary treatment and roof

2.3 Village edges & building height

The scale of buildings should respect their immediate context, particularly where landscape and green infrastructure are prominent features. Such features define the Newton on the Moor and Swarland Neighbourhood Area, making building scale an important consideration for any future development within the area.

The prevailing building height across the Neighbourhood Area ranges between 1 and 1.5 storeys. Newton on the Moor's buildings are



Figure 43: Bungalow on Studley Drive

characteristically single storey, whereas Swarland is host to a greater mix, albeit its traditional housing stock ranging between 1 and 1.5.

This average height responds to the topographical and rural context of the area, with the modest building scale ensuring a harmonious transition between built form and landscape. This contributes to the rural character of each settlement where the scale of most buildings are proportionate to their rural setting. This is particularly important at the edge of settlements such as along Park Road in Swarland where the one-plot-deep ribbon of homes are open to landscape on two sides making them more visible from the surrounding countryside.

More recent development, as well as recent planning applications/proposals, have begun to deviate from the prevailing scale of development, with some rising up to 2.5 storeys. These examples not only stand out but they diminish the rural charm and character of the area.

Such buildings are overbearing to the prevailing villagescape and detract from the area's modest villages and traditional built form.

Smaller settlements like Newton on the Moor and Hazon have a strong relationship with the surrounding countryside due to their relative scale. Compared to the likes of Swarland, these settlements are much smaller, with their built form having a more sensitive relationship with the countryside.

DESIGN CONSIDERATIONS

- Converting bungalows should respect the prevailing storey height and scale of the existing building
- Proposals must consider the rural setting of the area and how buildings can sensitively relate to the surrounding countryside
- Developers should inform the scale of proposals based off surrounding best practice (i.e. 1.5 storey building stock rather than 2+ storey homes)

NEWTON-ON-THE-MOOR



SWARLAND

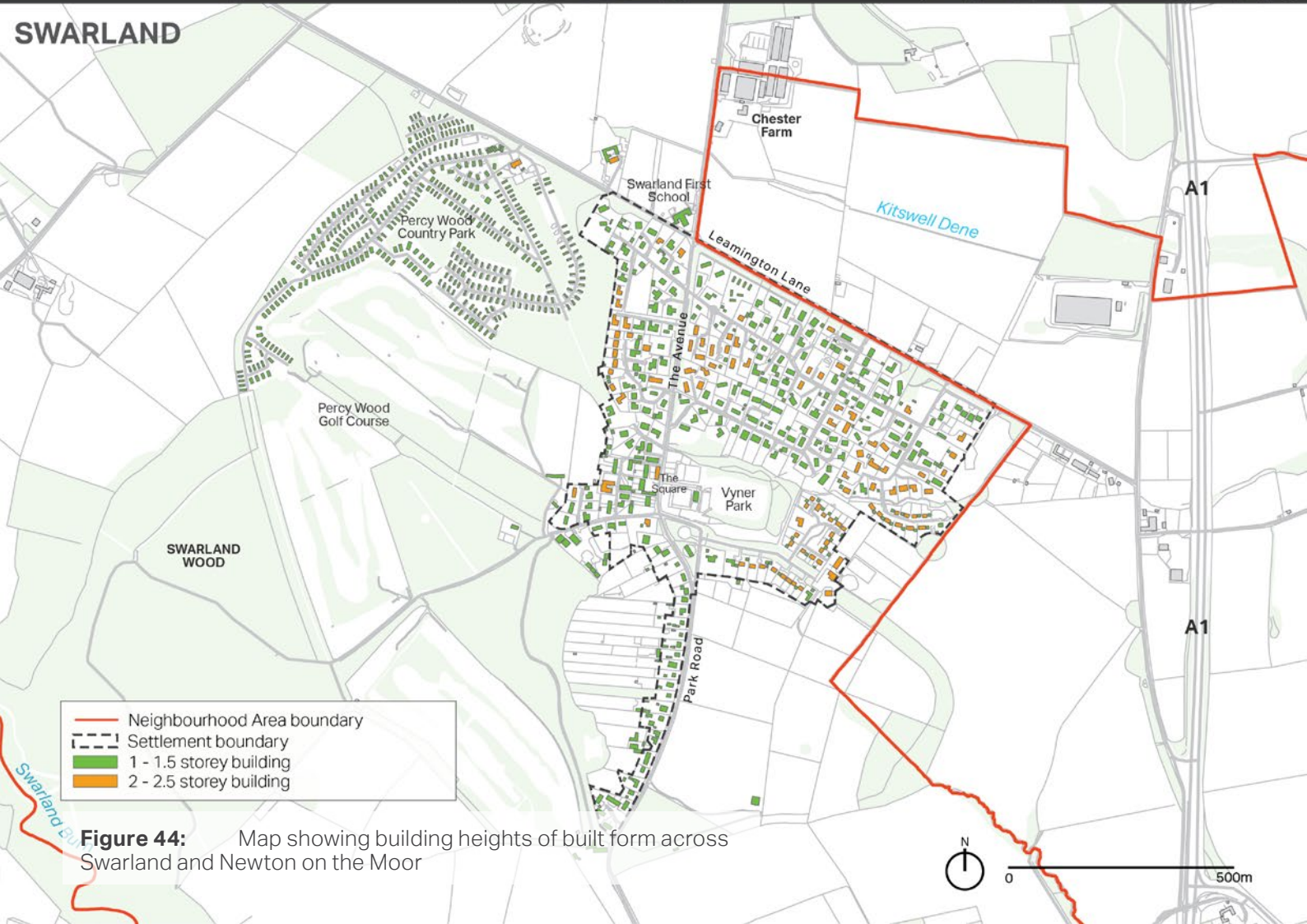


Figure 44: Map showing building heights of built form across Swarland and Newton on the Moor

C. Village edges & building height

The following design codes relate to the sensitive settlement edges of Swarland and Newton on the Moor, as well as the prevailing building height across the Parish.

Both are linked and should be considered together by proposals, as building height at the settlement edge will impact the transition between built and natural landscapes. The Parish has a prevailing building height of 1 to 1.5 storeys and this should be achieved within new development, particularly along sensitive settlement edges.

C1. Avoiding ribbon development

- New development should be sensitive to the surrounding landscape. Inappropriate ribbon development away from the principal settlement and their settlement boundaries should be avoided where it has an adverse impact on landscape character.

C2. Avoiding coalescence

- Landscape gaps between settlements and other developments should be retained to ensure the distinctiveness of each settlement or place and avoid coalescence. This includes between Percy Wood Country Park and Swarland.

C3. Maintaining distinctive settlement edges

- Development should not be proposed which breaches a distinctive settlement edge such as tree canopies and hedgerow. Such edges contribute to the rural character of the Parish as well as local biodiversity.

C4. Planted buffers at the settlement edge

- Buildings at the edge of the settlement should be appropriately screened with planting to mitigate its scale against the backdrop of the surrounding landscape and the prevailing building heights. This can include hedgerow and trees as they are common boundaries found across the Parish.

C5. Building height and topography

- Building heights in the Neighbourhood Area are predominantly 1-1.5 storeys, however some 2-2.5 properties can be found. New development should reflect existing heights, however, in general, taller buildings will sit more comfortably on lower ground, where they have a lower visual impact on the village scene.

C6. Overshadowing

- Building height and scale should be in keeping with the prevailing development pattern and not be overbearing on existing properties or deprive them of light, including overlooking or over-shadowing of both windows and amenity space.

C7. Lower density at the settlement edge

- Consider using lower density development at the settlement edge to foster a gentle transition between built form and landscape. Gaps between buildings and planting on plots can help to achieve a transition to the rural context.

C8. Proportional scale development

- Overtly large dwellings that dominate streetscapes will not be supported. Dwellings or any other form of development, must respect the rural and village-scale character of both Swarland and Newton on the Moor.

C9. Avoiding skylining

- Skylining refers to the visual impact of buildings or structures when viewed against the sky. Ensure new buildings do not dominate the skyline and are in harmony with the landscape with varied and interesting rooflines.



Figure 49: The above plan highlights indicative boundaries for inner and outer Swarland. Outer Swarland constitutes the settlement edge and is the most sensitive area of the village due to its relationship with the surrounding landscape. Proposals within this area need to consider building height and screening more than inner Swarland.



Figure 50: 1-1.5 storey buildings should continue to be the prevailing building height across the area, particularly at the settlement edge of Swarland and across all of Newton on the Moor due to its relative size and distinct one-storey built character.

2.4 Rural settlements

The Neighbourhood Area is host to three hamlets: Old Swarland and Hazon, Hartlaw.

2.4.1 Old Swarland

Located south of Swarland via Park Road and separated from Swarland's settlement boundary lies Old Swarland. The area is host to a small group of buildings of various development periods, including the historic Swarland Old Hall, farm buildings and eight dwellings.

The hall is a 17th century manor house that incorporates parts of earlier houses. Prior to the building of Swarland Hall it served as the manor house.



Figure 51: Grade II* Listed Swarland Old Hall in Old Swarland



Figure 52: Timber paddock fencing and drystone boundaries along the B6345, Old Swarland



Figure 53: Agricultural buildings along the B6345, Old Swarland



Figure 54: Sandstone one-storey bungalow fronting the B6345, Old Swarland

2.4.2 Hazon

Hazon has been an agricultural estate from Norman times through to the 20th century as part of Hazon Estate. Hazon Burn also to the west of the hamlet, by which it owes its name.

The hamlet remains a small rural settlement made of up predominantly historic buildings relating to its agricultural heritage, with any additions being agricultural buildings reflecting contemporary and larger-scale farming practices.

Hazon has 12 dwellings which are important to its 29 inhabitants. Residents enjoy the idyllic rural location amongst ancient fields in which there is still evidence of Medieval ridge and furrow farming.

2.4.3 Hartlaw

Hartlaw is the smallest of the hamlets, where remains of a medieval village were discovered. All that is left today are a farm house, cottages, garden and paddock walls which are Grade II Listed.

There are a number of isolated buildings distributed across the Parish's open countryside. These include historic residences and farms accessed via private driveways and local access roads.

2.4.4 Newton Hall estate

A notable development outside of the Parish's settlements includes the Grade II Listed Newton Hall, an 18th century country estate with associated buildings (i.e. working cottages) distributed across its estate.

The hall is the largest residence in the Parish and has been recently restored and renovated. It is surrounded by formal gardens and mature woodland.

2.4.5 Agricultural buildings

There are also multiple farmhouses and associated infrastructure dotted around the landscape. Many of the historic farmhouses are Grade II Listed, reflecting the area's agricultural heritage and landscape character. Some Grade II Listed farmhouses include Overgrass Old Farmhouse, Newton Greens Farmhouse and Villa Farmhouse.

Large commercial-scale agricultural buildings can be found at Chester Farm. These reflect larger-scale modern farming.

DESIGN CONSIDERATIONS

- Any form of development in the open countryside will be easily viewable, especially on hillside locations
- Development in rural hamlets and the open countryside will be proportional to the rural landscape and setting of the Parish
- The Parish has a prominent landscape character and rural context



Figure 55: Agriculture infrastructure, Hazon



Figure 56: Sandstone cottages, Hazon



Figure 57: Sandstone cottages, Hazon



Figure 58: Grade II Listed Hazon House, Hazon



Figure 59: Aerial view of the Newton Hall estate located south west of Newton on the Moor

D. Rural settlements design codes

Landscape is a prominent feature of the Parish, reflected by its rural hamlets and isolated developments, mainly agricultural, distributed across its open countryside. While development will be focused within the settlement boundaries of Swarland and Newton on the Moor, small-scale and minor proposals will come forward in Hazon, Hartlaw and in the open countryside.

Such developments will have to mitigate the visual impact they have on the surrounding landscape, ensuring the Parish's rural character is not compromised.

D1. Visual impact of agricultural development -

Agricultural development should refrain from using materials and colours that contrast with the surrounding landscape. Muted and contextual colour palettes are encouraged so not to disturb the local landscape character.

D2. Hamlet development -

Proposals within the hamlets of Old Swarland, Hazon and Hartlaw must be limited to extensions, outbuildings, change of use etc., rather than the introduction of new buildings, unless they foster the sustainable growth of an existing business, facilitates the creation of a new business, or enhances community facilities.

[See Local Plan Policy ST1 Spatial Strategy \(Strategic Policy\).](#)

D3. Types of development in the open countryside -

Development outside of the Neighbourhood area settlement boundaries will be limited to small-scale development (i.e. conversion of existing building), agricultural development, road/community infrastructure in line with requirements in Local Plan policy HOU 7 and HOU 8. Other residential proposals will not be supported outside of the settlement boundaries of Swarland and Newton on the Moor.

[See Local Plan Policy ST1 Spatial Strategy \(Strategic Policy\).](#)

D4. Screening in the open countryside -

Any development outside of Swarland and Newton on the Moor's settlement boundaries must be appropriately screened with natural buffers such as hedgerow and trees. This is to mitigate the visual impact of development when set against the backdrop of the surrounding landscape.

D5. Converting existing buildings in the open countryside -

There are several historic buildings distributed across the open countryside. The historic character of the buildings should be maintained and enhanced within any proposals to convert/regenerate them. This includes historic walls such as the drystone and sandstone walls found throughout the Parish's rural lanes.

D6. Boundary treatments -

Rural boundary treatments such as hedgerow, hedging, dry stone walls, and sandstone walls are an important feature of rural lanes and development within rural hamlets and the open countryside. Such treatments must be maintained or enhanced in proposals.

D7. Landscape character

- Proposals must enhance or maintain the landscape features outlined in the Northumberland Landscape Character Assessment (2010).

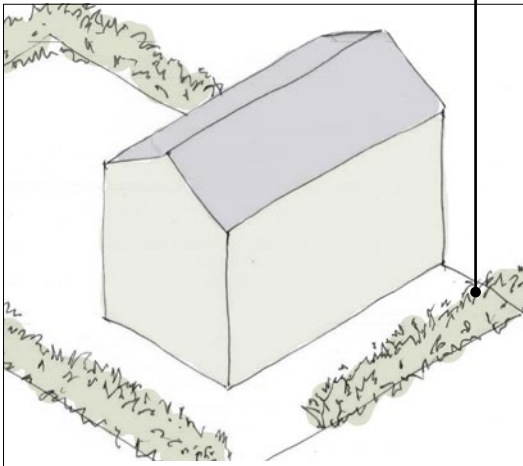


Figure 60: Hedge boundary treatments should surround buildings in rural hamlet or in the open countryside

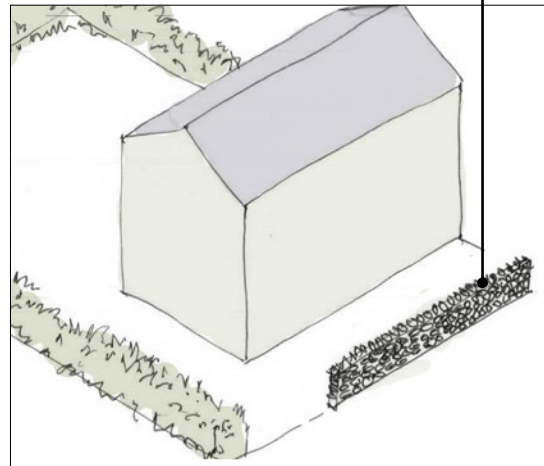


Figure 62: Sandstone walls and/or drystone walls boundary treatment should surround buildings in rural hamlet or in the open countryside

Precedent development



- 1-storey building height responding to rural character and countryside context within Old Swarland as well as the prevailing building height
- Appropriate use of grey slate for the roof and sandstone for the facade
- Sandstone detailing around door and window treatments
- High quality window and door treatment with use of panelled timber door and sash windows



Figure 61: Hazon aerial - cluster of homes and agricultural buildings distributed in an organic layout. Development and planning applications within Hazon will be limited to extensions, conversions and those relating to agricultural use. The hamlets rural character must be preserved by minimising development.

2.5 Percy Wood Country Park

Percy Wood Country Park is a caravan park and golf course spanning a large area of land to the north west of Swarland. There are some 449 individual accommodations (with plans to increase this to 500) on the site including a mix of static caravans and timber cabins as well as an 18 hole golf course.

With being situated close to the Cheviot Hills and moors yet only a short drive from the coast, its parkland setting offers spectacular views of the North Sea and surrounding countryside.

Percy Wood Country Park is consequently a large site and has seen growth over

recent years that begins to encroach on the amenity of Swarland village. For example, beech woodland has been removed to make way for additional units. The loss of this has reduced screening between the village and Percy Wood.

The continued expansion of the park is a particular concern of the Steering Group and Swarland residents due to the affect it may have on the amenity and rural setting of the village.

DESIGN CONSIDERATIONS

- Proposals must consider additional screening to mitigate the park encroaching on the visual and physical amenity of Swarland
- Percy Wood owners must consider the character, amenity and setting of Swarland when proposing future expansions or additions to the site
- The scale and holiday population of Percy Wood must be considered in relation to the rural setting and relative scale of Swarland and its services/facilities



Figure 63: Percy Wood Country Park reception building at its Leamington Lane access



Figure 64: Static caravans - the most common holiday home typology within the park



E. Percy Wood Country Park

As a large country park adjacent to Swarland, Percy Wood Country Park has a noticeable affect on the character of the area, both in terms of the influx of short-stay residents and the size and scale of the park's accommodation.

The local community are particularly concerned about the park's continued expansion and how this might cause further impacts on the landscape and general amenity. The codes below seek to mitigate this.

E1. Avoiding coalescence between Swarland and Percy Wood

- A separation between Percy Wood and neighbouring Swarland should be maintained to protect the amenity and character of Swarland.

E2. Green buffer - The green buffer between Percy Wood and Swarland must be maintained. This includes the maintenance of the green buffer (i.e. existing trees and grassland) between the two areas. This also includes ensuring Percy Wood is screened from view from Swarland.

E3. Relationship with surrounding countryside

- As well as a sensitive edge with Swarland, the park is surrounded by the Parish's open landscape on its remaining sides. A green buffer/screen should be maintained to ensure the park does not dominate views into Swarland and so the park is generally obscured from the surrounding countryside.

E4. Natural screening and buffers

- Percy Wood must maintain a distinct separation between itself and Swarland by ensuring proposals do not breach existing natural buffers such as hedgerow and woodland. Additional buffers should be included within proposals (with at least a 2:1 replacement ratio) where retention is not possible.

E5. Integrating green corridors

- Green corridors are recommended so as to integrate new development with the surrounding landscape, as well as providing additional pedestrian and habitat links between Percy Wood and Swarland.

E6. Proportional facilities

- Any future proposals by Percy Wood Country Park must respect the rural village setting of Swarland, as well as the wider Neighbourhood Area. The Neighbourhood Area has modest services and amenity to accommodate the influx of short-stay visitors from Percy Wood, but the site must refrain

from producing private facilities/ infrastructure disproportionate to the scale of Swarland.

E7. Proportional scale and growth

- Any future plans for expansion must consider how the character and setting of Swarland will be affected. The country park is large and should neither dwarf, dominate or encroach on the settlement boundary and character of Swarland.

E8. Character of accommodation

- In common with any other development proposed across the Neighbourhood Area, the character and design of holiday accommodation must respect the character of the Parish. This includes using colourways and materials sympathetic to the local vernacular, while also respecting the area's prominent landscape character.

E9. Watercourses

- Any expansion of Percy Wood must provide appropriate upgrades to the existing drainage/sewer systems as it is currently at capacity resulting in frequent overflows.



Figure 66: The green buffer separating Percy Wood Country Park from Swarland must be maintained to mitigate the affect the park has on the rural setting, character, and amenity of Swarland. As well as this, Percy Wood must ensure a green buffer is maintained between itself and the surrounding countryside. This is currently made up of hedgerow and tree canopies spanning bounding the roads adjacent Percy Wood.



Figure 67: Timber clad chalet with dark green roof produces a muted colourway that seamlessly blends into the surrounding landscape



Figure 68: Percy Wood is a large caravan holiday park with connecting roads running throughout it

A photograph of a traditional stone house with a grey slate roof. The house features a white door with a small window and a black frame, set within a small porch. To the left, there are two white-framed windows. A green circular graphic is overlaid on the upper part of the image, containing the number '03' and the text 'Area-wide design codes'.

03

**Area-wide design
codes**

3. Area-wide design codes

This chapter outlines area-wide analysis by covering context relating to the whole Neighbourhood Area. It includes area-wide design codes to be applied across the neighbourhood area.

3.1 Heritage & character

The Neighbourhood Area's ancient origins are reflected by its historic designations distributed amongst its settlements and vast open landscape. These include man-made structures such as buildings and monuments, as well as landscape features such as ancient woodland, hedgerow, and tree canopies which equally contribute to the area's historic and natural environment.

Listed buildings

There are 48 Listed buildings in the Neighbourhood Area including a single Grade II* Listing (Swarland Old Hall) and the remainder being Grade II Listed.

3.1.1 Conservation Area

Designated in 1972, the Newton on the Moor Conservation Area encompasses the northern half of the village and includes three Grade II Listed buildings. The village has a distinct character reflected by a cohesive use of material and form which are almost entirely a single storey and made of sandstone.

Several of its cottages date to the 18th century but the village itself was established as a borough in 1249, making it an ancient and historically important settlement.

Summary of historic features:

- Wide village street
- Single-storey buildings
- Use of locally made pantiles
- Estate village layout and character

3.1.2 Scheduled Ancient Monuments

There are 2 Scheduled Ancient Monuments (SAM) in the Neighbourhood Area.

The smaller of the two lies at the summit of Swarland Hill to the north of Swarland Hill. The site is host to a defended settlement (or ancient camp) of Iron Age date.

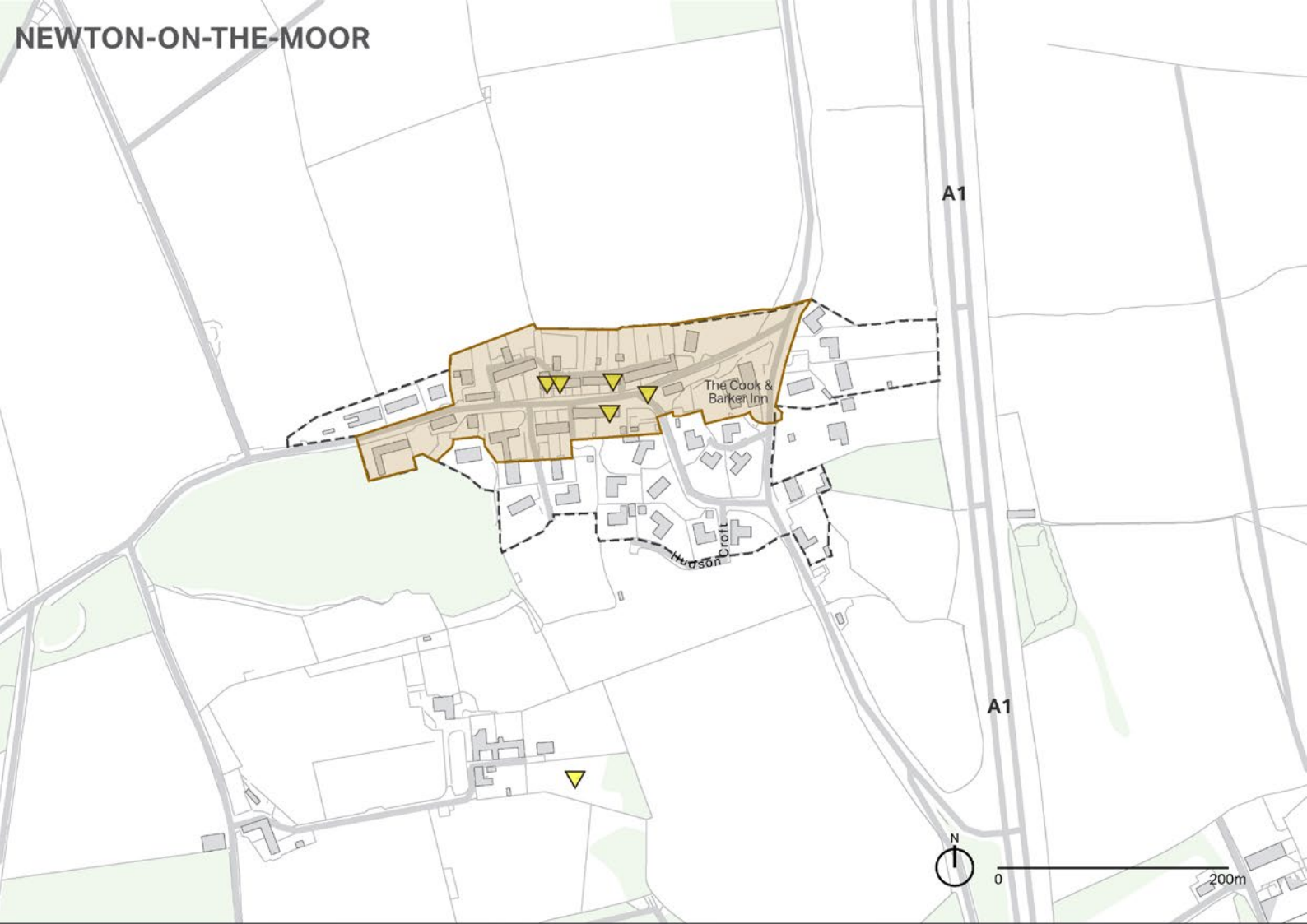
It is surrounded by a single earth stone bank and ditch, with a fragmentary additional outer bank, all of which are preserved as low earthworks.

The second site is located to the far west of the Neighbourhood Area towards Bigges' Pillar and Edlingham Woods. The site is host to an extensive cairnfield of Bronze Age date, including a ring cairn and a group of cup and ring decorated rocks.

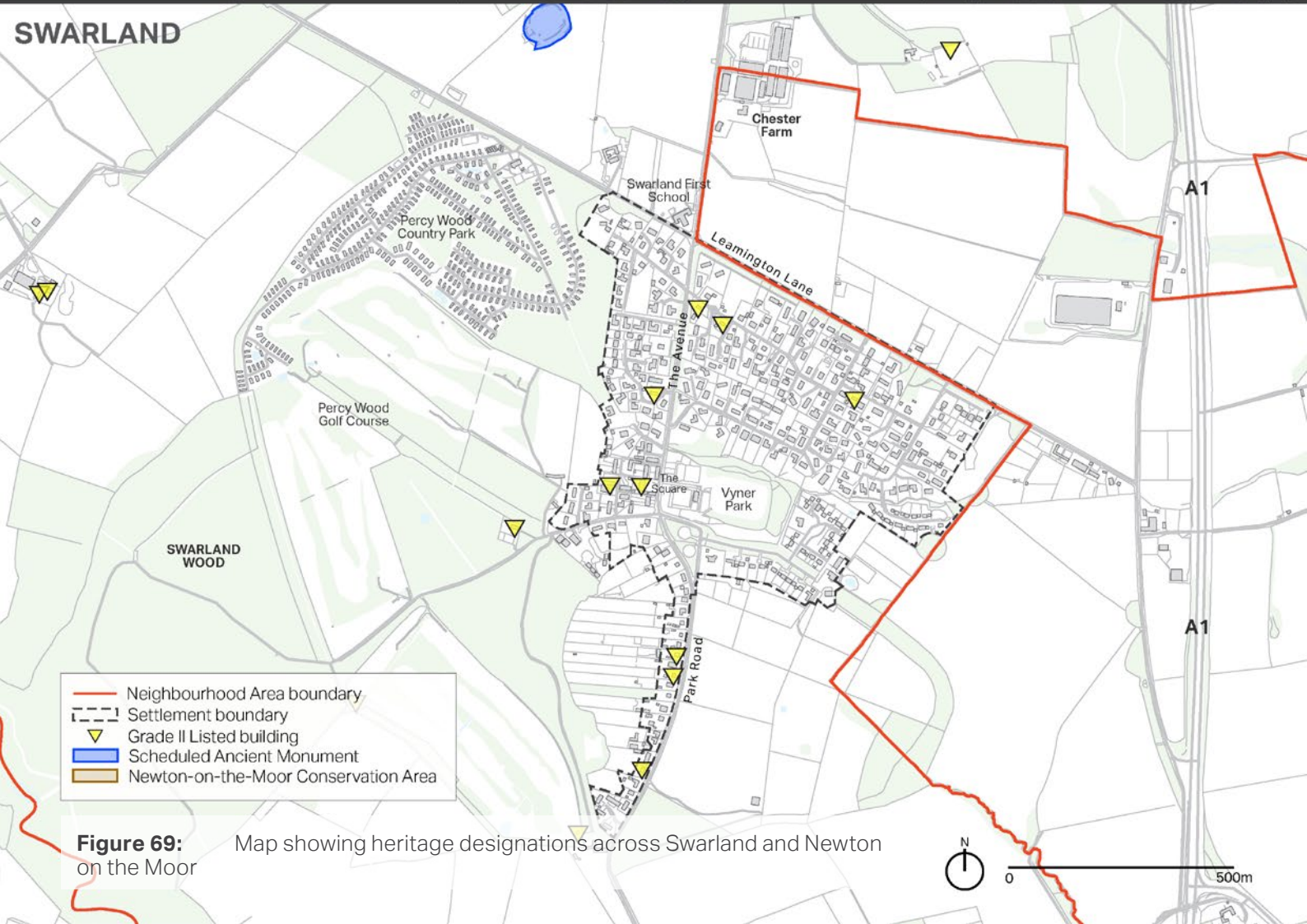
DESIGN CONSIDERATIONS

- Proposals need to consider their relationship to heritage assets in terms of their appearance and how they can positively contribute to local character
- Developers must consider prevailing materials, built character features and traditional build styles when designing any proposal

NEWTON-ON-THE-MOOR



SWARLAND



- Neighbourhood Area boundary
- Settlement boundary
- Grade II Listed building
- Scheduled Ancient Monument
- Newton-on-the-Moor Conservation Area

Figure 69: Map showing heritage designations across Swarland and Newton on the Moor

F. Heritage and character

The following codes relate to the overall character of the Neighbourhood Plan area, as well as codes relating to established 'urban design' principles. The codes are therefore to be applied across the whole Neighbourhood Plan area.

Many of the codes are in response to locally identified design issues such as the size of dormers, the use of timber fence boundary treatments and how recent planning applications (and approved developments) have negatively affected the rural character of the Parish.

F1. Contextual colour palettes

- The choice of colour and finish is an important design consideration in mitigating adverse visual impacts. This includes within facade, roof and boundary treatments. Subtle or muted colours should be used to ensure cohesion with existing high-quality development. The colour of imitation materials should be as close to the natural material as possible to ensure cohesion with prevailing colour palette.

F2. Timber fence boundary treatments

- Close-board timber fencing boundary treatments should be avoided. Instead, vertical paddock fencing should be used or any of the other boundary treatments outlined earlier in this report, such as:

- Low rise sandstone walls (incl. with wrought iron fencing)
- Hedge

F3. Avoiding overly complicated design

- Proposals should adopt a simple and focused palette that responds to the streetscape and space in which it relates. Overly complicated and random mixes of materials / palettes should be avoided.

F4. Avoiding low quality precedent

- Existing and/or nearby examples of low quality design should not be referenced or replicated. In planning applications, using existing developments that do not contribute to local character cannot be used as a reason for further poor design. Instead, proposals should refer to high-quality contextual features such as those outlined in the local vernacular study of both Swarland and Newton on the Moor.

F5. Dormer windows

- There are several examples of dormers being disproportionately large across both Swarland and Newton on the Moor. Dormer windows should be

modest in size and either match, complement, or reference the existing building fenestration, materials and overall character.

F6. Preserving green character

- Due to the rural context of the Neighbourhood Area, landscape features such as trees, hedgerow and other green (and blue) infrastructure must be retained or incorporated within proposals.

F7. Preserving rural setting of the villages and hamlets

- Future proposals must respond to the rural character of the Parish by ensuring they are contextual and proportional to the scale of the settlement they are in. Proposals must consider how the design of built form will relate to the surrounding countryside and the landscape features both within and adjacent any given site boundary.



Figure 70: Green character along Kenmore Road, Swarland where hedge and grass verges are key features of the streetscape



Figure 71: Appropriately sized and proportional dormer windows on Park Road, Swarland



Figure 72: Recent development in Swarland reflecting local heritage and character with its sandstone facade, red clay pantile roof and sandstone quoins, window headers and sills.



Figure 73: Original historic barn (right) and new build dwelling in Swarland. The new dwelling and its driveway and access are sensitive to the scale and character of the original barn building.

3.2 Topography

Topography is a prominent feature of the Neighbourhood Area and has a substantial contribution to informing its landscape character. As such, its important that buildings within the area respond to the topographical context in which they lie.

This is particularly important in places like Swarland where the settlement's hillside location on Swarland Hill affords it attractive views of the surrounding landscape. This also makes the village particularly visible from the east and south with the peak of the hill being to the north-west of Swarland.



Figure 74: Hazon Burn

Swarland Hill peaks at circa 188m around the northern end of Leamington Lane. Newton on the Moor is also located on the hillside, siting at around 145m, giving it a fairly prominent position on the hill and visible from the north, east and south.

The hill on which both villages sit on is surpassed by the land leading up to Bigges' Pillar, a hill situated further north-west from either village. While the peak (269m) of Bigges' Pillar is outside of the Neighbourhood Area, the section within the area sits at circa 260m, making it the highest point within the Newton on the Moor and Swarland Neighbourhood Area.

By contrast, the lowest point in the area lies at circa 45m where the Hazon Burn flows southerly past the hamlet of Hazon, by which it owes its name. This minor watercourse flows down a tight steep ravine before joining the River Coquet further downstream, although outside of the Neighbourhood Area.

3.3 Watercourses and flood risk

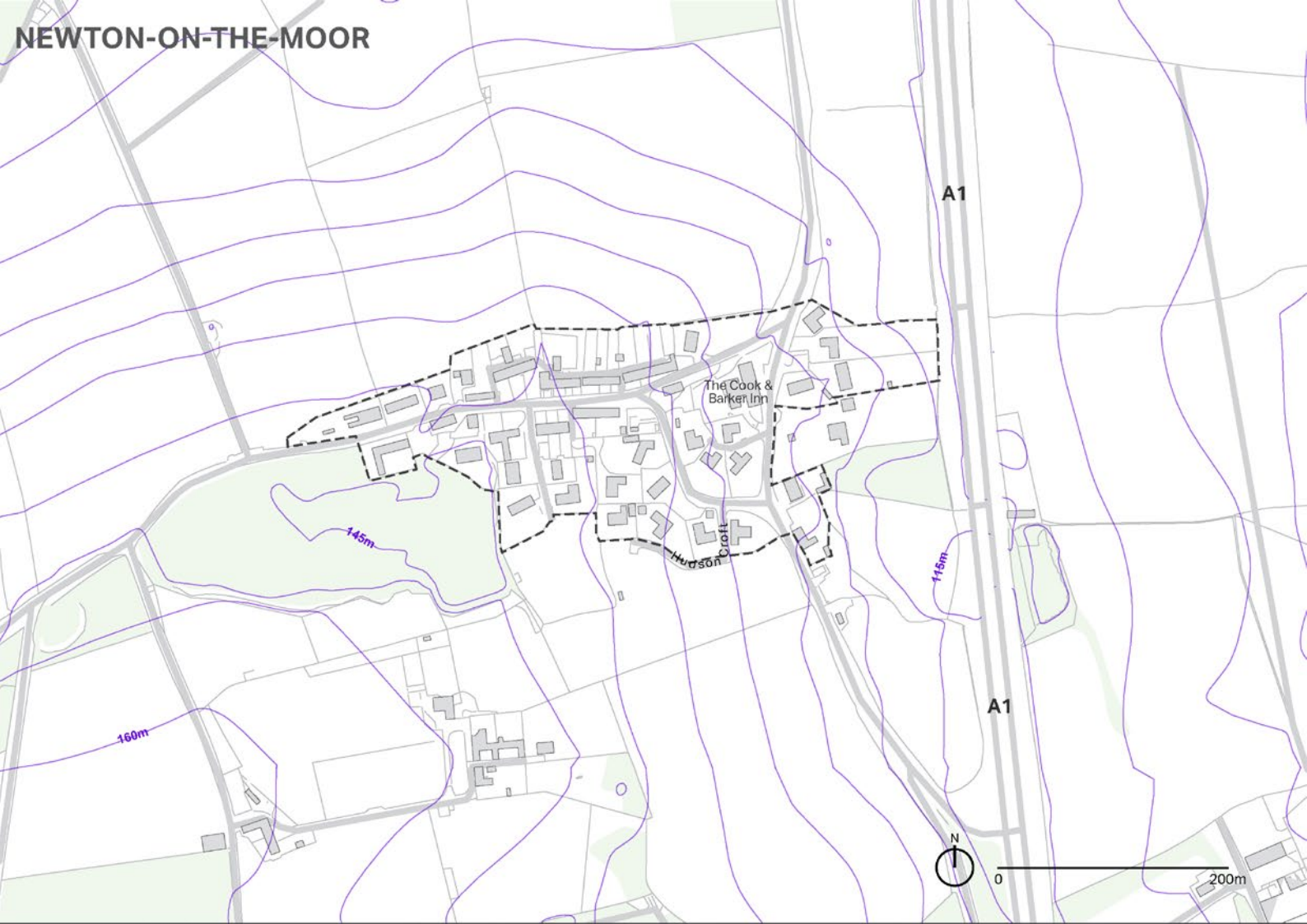
As per the Environment Agency's flood risk mapping, a majority of the Neighbourhood Area is free from Flood Zone 2 and 3, making flooding a minor issue within the area.

The area is host to a network of minor watercourses including streams, burns, and denes. Many of these are concentrated around Swarland, such as the Kitswell Dene and Swarland Burn.

DESIGN CONSIDERATIONS

- As well as Environment Agency flood mapping localised flooding and wetland areas should be appraised during the design stages of any proposal
- Proposals must consider rainwater run-off due to the varied landform of the area, as well as the position and direction of flow of the area's network of watercourses (burns and streams)

NEWTON-ON-THE-MOOR



SWARLAND

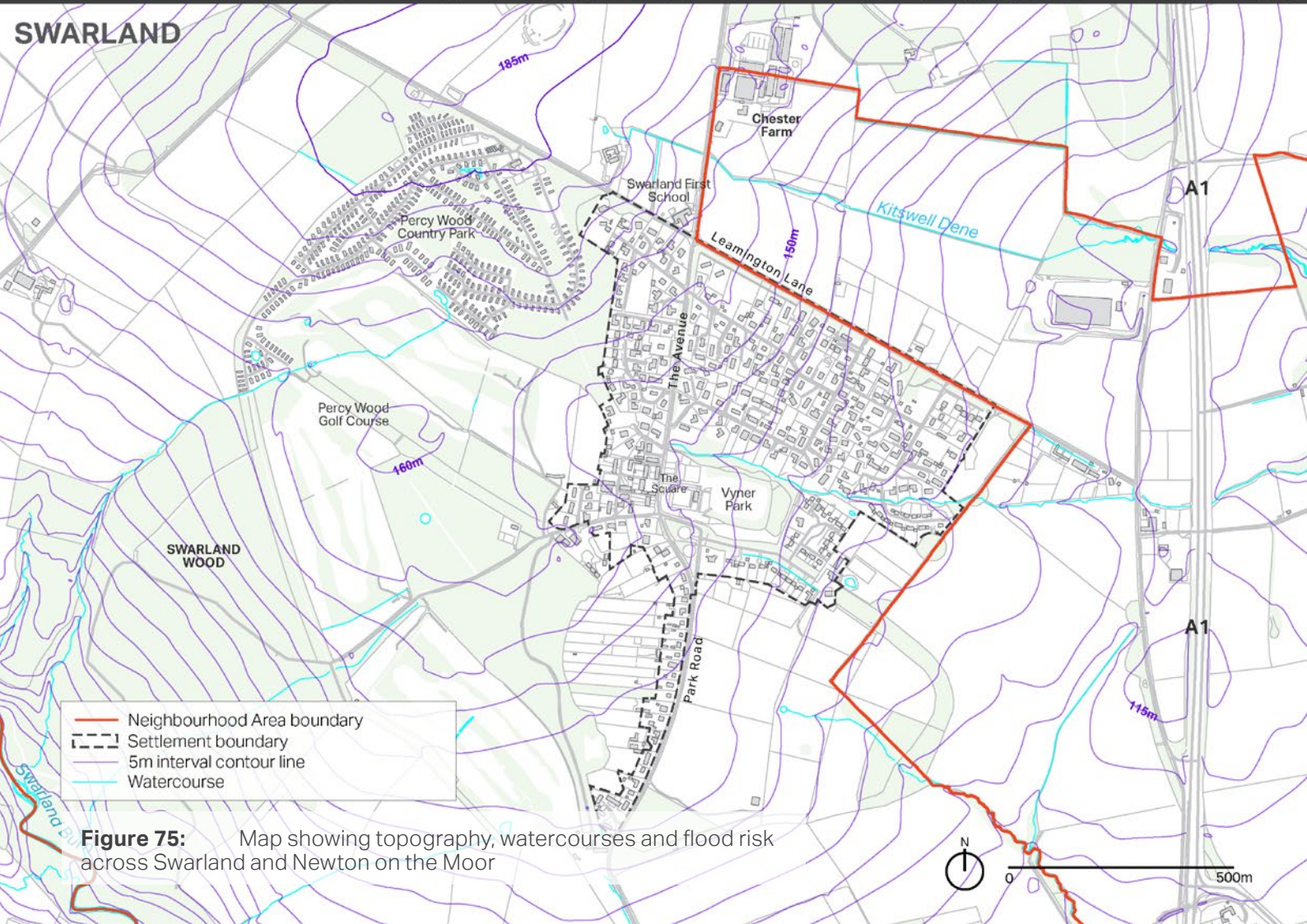


Figure 75: Map showing topography, watercourses and flood risk across Swarland and Newton on the Moor

Topography is a key feature of the Parish's landscape and proposals need to ensure they consider how this will affect local character, particularly in relation to visibility and flood risk. The following design codes relate to topography and water management, and how proposals should consider water run-off and a change in level.

G1. Hillside locations and orientation

The Parish's primary settlements are located on a hillside. Buildings on a slope should be orientated to maintain and enhance views of the surrounding landscape, but should adopt appropriate screening measures to ensure privacy of other units is maintained.

G2. Responding to level change

Buildings should seek to adopt appropriate design solutions to address level changes. Buildings should not appear out of scale in comparison to their surroundings.

G3. Mitigating prominence in the landscape

Low-lying dwellings ranging between 1-1.5 storeys are typical to the local Newton on the Moor and Swarland vernacular and are appropriate responses to the area's topography and subsequent building prominence on hillsides.

G4. Privacy of surrounding dwellings

Development in elevated positions should be aware of its position above other units and consider the privacy of those below.

G5. Sustainable Drainage Systems (SuDS)

Inclusion of SuDS in developments is supported. The type and amount of SuDS needed will depend on the topography and flood risk of the site and its context. SuDS should be designed in accordance with The SuDS Manual, CIRIA. Drainage should be considered early in the development planning and design process.

G6. Drainage strategy

Existing watercourses, existing surface water flow routes across the site, and existing drainage systems, must be taken into consideration and the drainage strategy should mimic natural drainage patterns as closely as possible.

G7. Permeable paving

Adoption of permeable paving solutions instead of tarmac is encouraged. Gardens and soft landscaping should be maximised to reduce the overall area of impermeable hard surfacing that might increase surface water volumes and increase local flood risk. Further, green space can be used for natural flood protection e.g. permeable landscaping, swales etc.

G8. Sustainable water collection

The installation of water butts within new residential developments is encouraged to collect rainwater (rainwater harvesting) from roofs and reduce the overall rainwater runoff impact of any development. The design and location should be considered to integrate with the existing settlement character or sub-areas.



Figure 76: Precedent image - Optimising permeability in public spaces and front gardens by incorporating permeable paving and surfaces



Figure 77: Precedent image - Illustrating how integration of sustainable drainage solutions can be incorporated into streetscapes

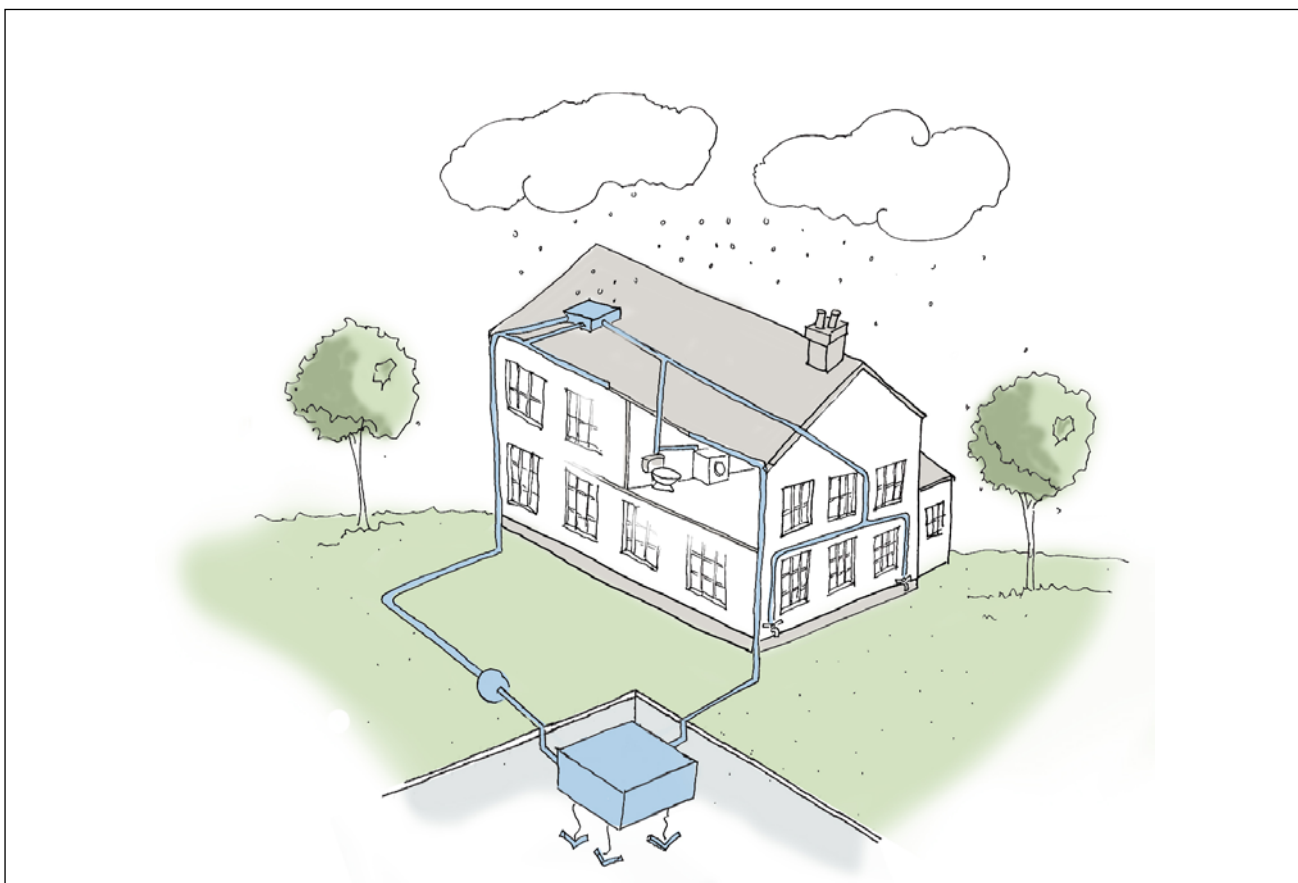


Figure 78: Sustainable water collection - harvesting rainwater by incorporating water butts is encouraged to enhance water sustainability and reduce the overall rainwater runoff of new development

3.4 Key views

The area is host to an array of valued views and vistas. These have been highlighted on Fig 80 after consultation with Swarland and Newton on the Moor residents.

Vistas are a prominent feature of Swarland due to its long linear routes, including The Avenue and Leamington Lane. Both are lined with mature tree canopies and hedge, giving these vistas a strong green, historic character.

As well as being attractive features of any village or landscape, views contribute to the sense of place and local wayfinding, improving legibility for those who live and visit an area.

Key views (KV) by area:

Newton on the Moor

1. View from the back of the houses on the north side of the village road and also at the west end of that road towards the north and north west.
2. View into village from A1
3. Views north and west to Shiel Dykes
4. The lane at Glantlees looking west to the hills

Swarland

5. Swarland Wood - panorama toward the Simonside Hills and Atheys Moor

6. Overgrass looking north across open farmland
7. Chesterhill top, Swarland - view east to Coquet Island and Warkworth
8. Swarland School - view east to Coquet Island
9. Old Park Road - looking east across the fields toward coast
10. Park Road - panorama over fields looking to coast and Felton
11. The Avenue - tree lined vista reportedly much enjoyed by HM The Queen Mother who often asked to drive along the road when returning to London from visits to Northumberland
12. Dyke Head looking north west

Old Swarland

13. Old Swarland - panorama across the Coquet Valley and to North Sea

Hazon

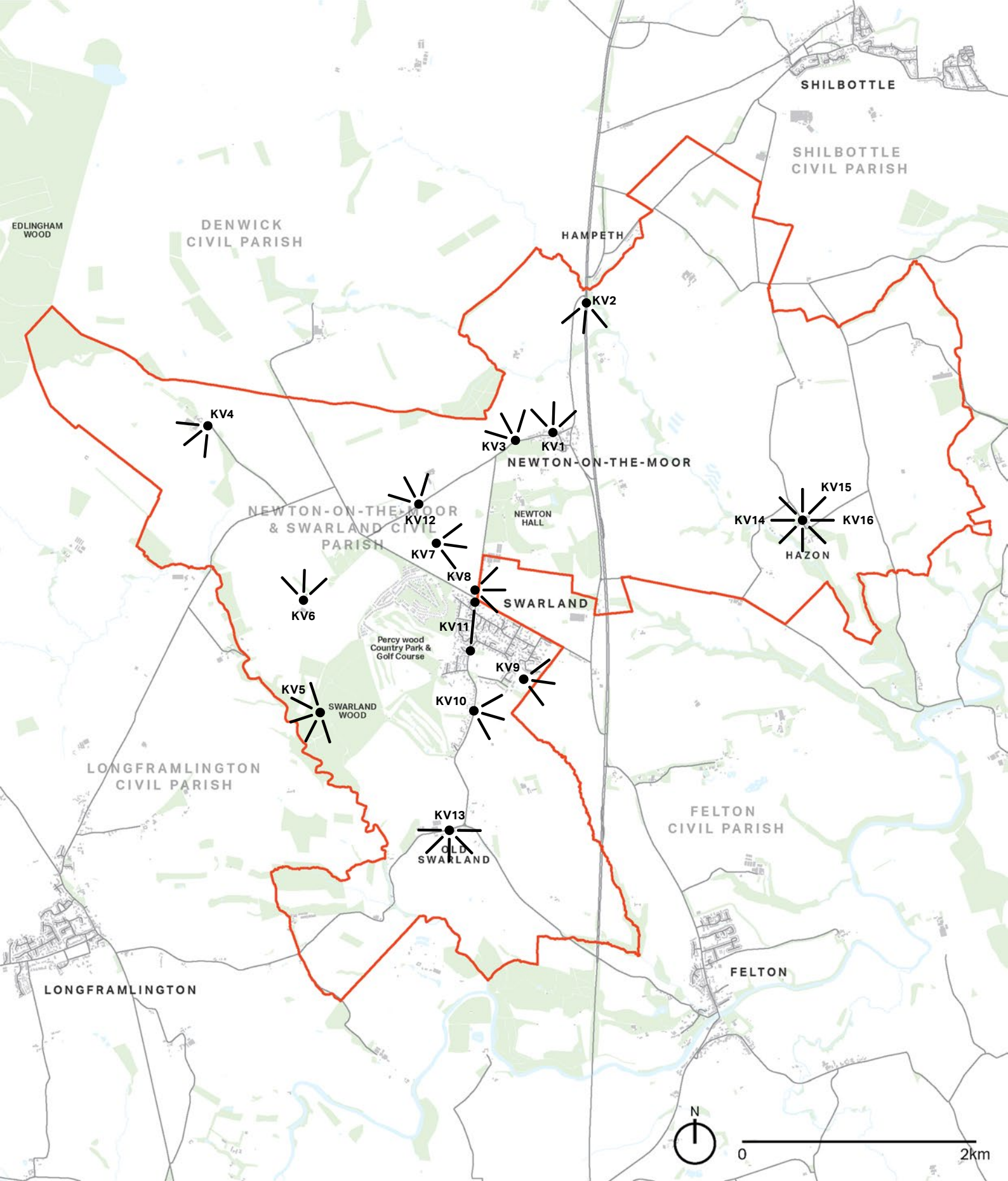
14. Beautiful views to the west towards Newton on the Moor and to the east of Warkworth Castle and the coast
15. Hazon Lea across the Hazon valley
16. Hazon east towards the coast



Figure 79: Vista down The Avenue, Swarland

DESIGN CONSIDERATIONS

- The vista on The Avenue are a prominent feature of Swarland and proposals should respect its framing, amenity and green character
- Proposals need to respect key views identified by the Neighbourhood Plan Steering Group
- Prominent views of both natural and built features should be protected or enhanced
- Developers must consider the visibility of their proposals and its relationship to the surrounding landscape



— Neighbourhood Area boundary



Panoramic



Panorama



Line of sight

Figure 80: Map showing identified key views across the Neighbourhood Area.

H. Key views & vistas

An asset of the neighbourhood area's landform are the key views and vistas created by the landscape. With Swarland and Newton on the Moor located on hillsides, their elevated positions afford extensive views.

As the plan on the previous page highlights, there are a set of views/vistas that are particularly important to the local community. Proposals must adhere to the following design codes when considering how a development may affect views/vistas.

H1. Protecting views at the settlement edge

edge - Proposals on the settlement edge should be unobstructive of key views looking both inwards and outwards of the settlement. Views of the Neighbourhood area's landscape and built form are a locally defining feature that contribute to the legibility and way-finding of the area.

H2. Protecting key views/vistas

- As per the sixteen views outlined on Figure 80, proposals must not obstruct any of the identified views/vistas. These are locally defining features highlighted by the community.

H3. Utilising lower densities

- Proposals that include buildings of lower densities (i.e. 1 - 1.5 storeys) should be considered in areas with key view and landscape sensitivities.

H4. Transitioning between village and landscape

- Proposals on the settlement edge should be configured to produce a harmonious transition between both the surrounding landscape and the built form of the settlement. This can be achieved via a mixture of lower density development and using natural screening (i.e. hedgerows, tree cover, green roofs etc.) to soften a developments visual impact.

H5. Protecting and creating views for way-finding

- Buildings should be oriented to maintain existing key views or to create new views/vistas which can contribute to local way-finding. Views of both landmark buildings (i.e. church spires) and landscape features (i.e. hills) should be utilised to promote legibility within the area.

H6. Protecting The Avenue's vista

- The Avenue in Swarland is a key feature and asset to Swarland's villagescape. The view down it as well as the trees, grass verges and low timber fencing contributing to its amenity and boundary must be protected. A group Tree Preservation Order (TPO) exists along The Avenue. These trees along with other trees and planting closely relating to the TPO must be protected.

H7. Long-distance views to the coastline

- Residents of the Neighbourhood Area are proud of their connection to the wider landscape and value long-distance views to the coastline on a clear day. New development should consider opportunities to allow and/or frame views to the coastline from within green spaces and streets.

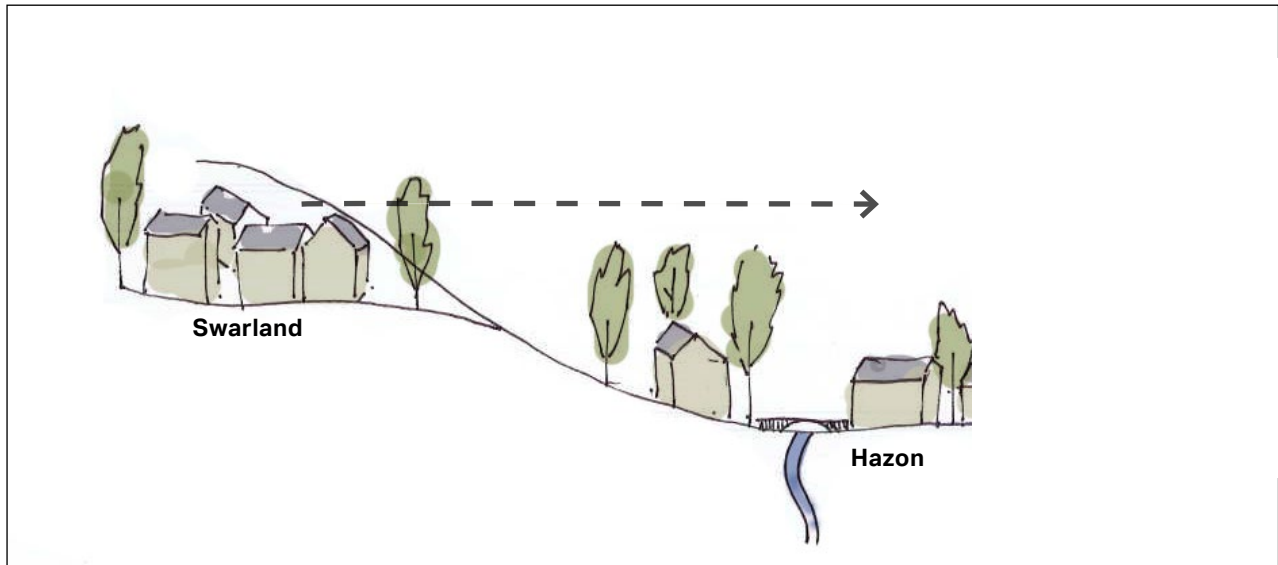


Figure 81: The views identified on page 80 should be unobstructed by any future development. This includes the long distance views from upon the escarpment which are an important character feature that should be conserved.



Figure 82: View from Park Road over equestrian fields looking to the North Sea in the far background, one of the several views identified by the group as an important view to be protected



Figure 83: Views over the moors surrounding Newton on the Moor

04

Checklist of design considerations

4. Checklist of design considerations

1

General design considerations for new development:

- Integrate with existing paths, streets, circulation networks and patterns of activity;
- Reinforce or enhance the established settlement character of streets, greens, and other spaces;
- Harmonise and enhance existing settlement in terms of physical form, architecture and land use;
- Relate well to local topography and landscape features, including prominent ridge lines and long-distance views;
- Reflect, respect, and reinforce local architecture and historic distinctiveness;
- Retain and incorporate important existing features into the development;
- Respect surrounding buildings in terms of scale, height, form and massing;
- Adopt contextually appropriate materials and details;
- Provide adequate open space for the development in terms of both quantity and quality;
- Incorporate necessary services and drainage infrastructure without causing unacceptable harm to retained features;
- Ensure all components e.g. buildings, landscapes, access routes, parking and open space are well related to each other;
- Positively integrate energy efficient technologies;
- Make sufficient provision for sustainable waste management (including facilities for kerbside collection, waste separation, and minimisation where appropriate) without adverse impact on the street scene, the local landscape or the amenities of neighbours;
- Ensure that places are designed with management, maintenance and the upkeep of utilities in mind; and
- Seek to implement passive environmental design principles by, firstly, considering how the site layout can optimise beneficial solar gain and reduce energy demands (e.g. insulation), before specification of energy efficient building services and finally incorporate renewable energy sources.

2

Street grid and layout:

- Does it favour accessibility and connectivity? If not, why?
- Do the new points of access and street layout have regard for all users of the development; in particular pedestrians, cyclists and those with disabilities?
- What are the essential characteristics of the existing street pattern; are these reflected in the proposal?
- How will the new design or extension integrate with the existing street arrangement?
- Are the new points of access appropriate in terms of patterns of movement?
- Do the points of access conform to the statutory technical requirements?

3

Local green spaces, views & character:

- What are the particular characteristics of this area which have been taken into account in the design; i.e. what are the landscape qualities of the area?
- Does the proposal maintain or enhance any identified views or views in general?
- How does the proposal affect the trees on or adjacent to the site?
- Can trees be used to provide natural shading from unwanted solar gain? I.e. deciduous trees can limit solar gains in summer, while maximising them in winter.
- Has the proposal been considered within its wider physical context?
- Has the impact on the landscape quality of the area been taken into account?
- In rural locations, has the impact of the development on the tranquillity of the area been fully considered?
- How does the proposal impact on existing views which are important to the area and how are these views incorporated in the design?
- How does the proposal impact on existing views which are important to the area and how are these views incorporated in the design?
- Can any new views be created?
- Is there adequate amenity space for the development?
- Does the new development respect and enhance existing amenity space?

3 (continued)

Local green spaces, views & character:

- Have opportunities for enhancing existing amenity spaces been explored?
- Will any communal amenity space be created? If so, how this will be used by the new owners and how will it be managed?
- Is there opportunity to increase the local area biodiversity?
- Can green space be used for natural flood prevention e.g. permeable landscaping, swales etc.?
- Can water bodies be used to provide evaporative cooling?
- Is there space to consider a ground source heat pump array, either horizontal ground loop or borehole (if excavation is required)?

4

Gateway and access features:

- What is the arrival point, how is it designed?
- Does the proposal maintain or enhance the existing gaps between settlements?
- Does the proposal affect or change the setting of a listed building or listed landscape?
- Is the landscaping to be hard or soft?

5

Buildings layout and grouping:

- What are the typical groupings of buildings?
- How have the existing groupings been reflected in the proposal?
- Are proposed groups of buildings offering variety and texture to the villagescape?
- What effect would the proposal have on the streetscape?
- Does the proposal maintain the character of dwelling clusters stemming from the main road?
- Does the proposal overlook any adjacent properties or gardens?
How is this mitigated?

5 (continued)

Buildings layout and grouping:

- Subject to topography and the clustering of existing buildings, are new buildings oriented to incorporate passive solar design principles, with, for example, one of the main glazed elevations within 30° due south, whilst also minimising overheating risk?
- Can buildings with complementary energy profiles be clustered together such that a communal low carbon energy source could be used to supply multiple buildings that might require energy at different times of day or night? This is to reduce peak loads. And/or can waste heat from one building be extracted to provide cooling to that building as well as heat to another building?

6

Building line and boundary treatment:

- What are the characteristics of the building line?
- How has the building line been respected in the proposals?
- Has the appropriateness of the boundary treatments been considered in the context of the site?

7

Building heights and roof-line:

- What are the characteristics of the roof-line?
- Have the proposals paid careful attention to height, form, massing and scale?
- If a higher than average building(s) is proposed, what would be the reason for making the development higher?
- Will the roof structure be capable of supporting a photovoltaic or solar thermal array either now, or in the future?
- Will the inclusion of roof mounted renewable technologies be an issue from a visual or planning perspective? If so, can they be screened from view, being careful not to cause over shading?

8

Household extensions:

- Does the proposed design respect the character of the area and the immediate neighbourhood, and does it have an adverse impact on neighbouring properties in relation to privacy, overbearing or overshadowing impact?
- Is the roof form of the extension appropriate to the original dwelling (considering angle of pitch)?
- Do the proposed materials match those of the existing dwelling?
- In case of side extensions, does it retain important gaps within the street scene and avoid a 'terracing effect'?
- Are there any proposed dormer roof extensions set within the roof slope?
- Does the proposed extension respond to the existing pattern of window and door openings?
- Is the side extension set back from the front of the house?
- Does the extension offer the opportunity to retrofit energy efficiency measures to the existing building?
- Can any materials be re-used in situ to reduce waste and embodied carbon?

9

Building materials & surface treatment:

- What is the distinctive material in the area?
- Does the proposed material harmonise with the local materials?
- Does the proposal use high-quality materials?
- Have the details of the windows, doors, eaves and roof details been addressed in the context of the overall design?
- Does the new proposed materials respect or enhance the existing area or adversely change its character?
- Are recycled materials, or those with high recycled content proposed?

9 (continued)

Building materials & surface treatment:

- Has the embodied carbon of the materials been considered and are there options which can reduce the embodied carbon of the design? For example, wood structures and concrete alternatives.
- Can the proposed materials be locally and/or responsibly sourced? E.g. FSC timber, or certified under BES 6001, ISO 14001 Environmental Management Systems?

10

Transport:

- What parking solutions have been considered?
- Are the car spaces located and arranged in a way that is not dominant or detrimental to the sense of place?
- Has planting been considered to soften the presence of cars?
- Does the proposed car parking compromise the amenity of adjoining properties?
- Have the needs of wheelchair users been considered?
- Can electric vehicle charging points be provided?
- Can secure cycle storage be provided at an individual building level or through a central/ communal facility where appropriate?
- If covered car ports or cycle storage is included, can it incorporate roof mounted photovoltaic panels or a bio-diverse roof in its design?

About AECOM

AECOM is the world's trusted infrastructure consulting firm, delivering professional services throughout the project lifecycle — from planning, design and engineering to program and construction management. On projects spanning transportation, buildings, water, new energy and the environment, our public- and private-sector clients trust us to solve their most complex challenges. Our teams are driven by a common purpose to deliver a better world through our unrivalled technical expertise and innovation, a culture of equity, diversity and inclusion, and a commitment to environmental, social and governance priorities. AECOM is a *Fortune 500* firm and its Professional Services business had revenue of \$13.2 billion in fiscal year 2020. See how we are delivering sustainable legacies for generations to come at aecom.com and [@AECOM](https://twitter.com/AECOM).



Appendix D: Community Actions

These documents are available on the Parish Council website
(<https://newtonswarlandpc.org.uk>)

Glossary:

Affordable Housing

Housing for sale or rent for those whose needs are not met by the market. Including housing that provides a subsidised route to home ownership and/or is for essential local workers.

Affordable Rented Housing

Housing let by the local authority or private registered providers of social housing to households who are eligible for social rented housing. Affordable rent is subject to rent controls that require a rent of no more than 80% of the local market rent.

Amenity

A positive element or elements that contribute to the positive character of an area such as: lack of noise and disturbance, openness, landscape, townscape, and opportunities for recreation etc.

Area of Outstanding Natural Beauty (AONB)

An area with statutory national landscape designation, the primary purpose of which is to conserve and enhance natural beauty

Asset of Community Value

A local authority maintained list of buildings and land in its area that is of community value as set out in Section 87 of the Localism Act 2011.

Basic Conditions

These are conditions set out in paragraph 8(2) of Schedule 4B to the Town and Country Planning Act 1990, as applied to neighbourhood plans by section 38A of the Planning and Compulsory Act 2004

Biodiversity

The whole variety of life encompassing all genetics, species and ecosystem variations, including plants and animals.

Community Facilities

Local services and facilities that benefit the community, such as local shops, meeting places, sports venues, cultural buildings, public houses and places of worship.

Density (of development)

The amount of building within an area of land. For housing it is expressed as the number of dwellings per hectare.

Designated Site

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In this document, reference to Designated Sites should be taken to include European Sites (Special Areas of Conservation (SACs), and Special Protection Areas (SPAs), Ramsar Sites, European Marine Sites (EMS's) and Sites of Special Scientific Interest (SSSIs).

Development

Defined under the 1990 Town and Country Planning Act as 'the carrying out of building, engineering, mining or other operation in, on, over or under land, or the making of any material change in the use of any building or other land.'

Development Plan

The complete set of statutory land use policies and proposals for an area, used in making

planning decisions. It includes adopted council Development Plan documents such as Local Plans and Neighbourhood Plans.

European Site

This includes candidate Special Areas of Conservation, Sites of Community Importance, Special Areas of Conservation and Special Protection Areas, and is defined in regulation 8 of the Conservation of Habitats and Species Regulations 2010.

Evidence Base

The information and data gathered by local authorities and used to inform policy development. Evidence base data is also gathered to prepare a Neighbourhood Plan and is submitted to the Examiner along with the other Examination Documents.

Habitat

An area or natural environment in which an organism, species or population normally lives. Habitats take many forms and should not be considered in isolation as they are linked and overlap with each other.

Habitats Regulations Assessments (HRA)

This is a general term which describes the full step-wise process required in making assessments

of the impacts on European sites under the Conservation of Habitats and Species Regulations 2010, including the steps of screening for likely significant effects and making appropriate assessments.

Heritage Asset

A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority (including local listing).

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Historic Environment

All aspects of the environment resulting from the interaction between people and places through time, including all surviving physical remains of past human activity, whether visible, buried or submerged, and landscaped and planted or managed flora.

Independent Examination

The process by which an independent person examines a plan document to ensure that it is 'sound' (in the case of a Local Plan) or meets Basic Conditions (in the case of a Neighbourhood Plan).

Infrastructure

The physical entities (for example roads, railways, sewers, pipes, telecommunications lines) that are necessary for communities to function and move around.

International

National and locally designated sites of importance for biodiversity: All international sites (Special Areas of Conservation, Special Protection Areas, and Ramsar Sites), national sites (Sites of Special Scientific Interest) and locally designated sites including Local Wildlife Sites.

Landscape Character

The distinct and recognisable pattern of elements that occur consistently in a particular type of landscape. It reflects particular combinations of geology, landform, soils, vegetation, land use and human settlement.

Landscape Sensitivity

Normally refers to the ability of the landscape to absorb development, in relation to valued aspects of its character.

Local Green Space

A designation that provides special protection for green areas of particular importance to local communities. They can be identified by communities in Neighbourhood Plans.

Local Plan

The documents and maps that make up the plan for the future development of a local area. In Northumberland this is the Northumberland Local Plan (2022).

Material Consideration

A matter that should be taken into account in making a planning decision.

National Planning Policy Framework (NPPF)

A Government document that sets out the Government's planning policies for England and how these are expected to be applied. Most recent version December

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2024.

National Planning Practice Guidance (NPPG)

The Government published the latest National Planning Policy Framework (NPPF) in 2023 and National Planning Practice Guidance is regularly updated. Together, the National Planning Policy Framework and National Planning Practice Guidance set out what the Government expects of local authorities.

Neighbourhood Plan

A Plan produced by a Parish or Town Council; the 'qualifying body' for a particular Neighbourhood Area. Once it has been accepted by the local community through a Referendum, the Neighbourhood Plan will form part of the Development Plan.

Northumberland County Council

The unitary authority for Northumberland as of 1st April 2009.

Open Countryside

Land beyond settlement boundaries or Green Belt inset boundaries, where they are defined on the Policies Maps.

Permitted Development

Certain limited or minor forms of development that may proceed without the need to make an application for planning permission.

Planning Obligation

[Policy] Planning obligations assist in mitigating the impact of development which benefits local communities and supports the provision of local infrastructure. Local communities should be involved in the setting of planning obligations policies in a Neighbourhood Plan.

Planning Obligation (Development Management)

Also known as Section 106 agreements. Obligations attached to land that is the subject of a planning permission. Planning obligations may only constitute a reason for granting planning permission if they meet the tests that they are necessary to make the development acceptable in planning terms, directly related to the development, and fairly and reasonably related in scale and kind.

Previously Developed Land

Land which is or was occupied by a permanent structure, including the curtilage of the developed land (although it should not be assumed that the whole of the curtilage should be developed) and any associated fixed surface infrastructure. This excludes: land that is or was last occupied by agricultural or forestry buildings, land that has been developed for minerals extraction or waste disposal by landfill, where provision for restoration has been made through development management procedures, land in built-up areas such as residential gardens, parks, recreation grounds and allotments, and land that was previously developed but where the remains of the

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permanent structure or fixed surface structure have blended into the landscape.

Priority Habitats and Species

Species and Habitats of Principal Importance included in the England Biodiversity List published by the Secretary of State under section 41 of the Natural Environment and Rural Communities Act 2006.

Rural Exception Sites

Small sites used for affordable housing in perpetuity where sites would not normally be used for housing. Rural exception sites seek to address the needs of the local community by accommodating households who are either current residents or have an existing family or employment connection.

A proportion of market homes may be allowed on the site at the local planning authority's discretion, for example where essential to enable the delivery of affordable units without grant funding.

Setting of a Heritage Asset

The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.

Special Areas of Conservation

Areas given special protection under the European Union's Habitats Directive, which is transposed into UK law by the Habitats and Conservation of Species Regulations 2010.

Special Protection Areas

Areas which have been identified as being of international importance for the breeding, feeding, wintering or the migration of rare and vulnerable species of birds found within European Union countries. They are European designated sites, classified under the Bird Directive. Site of Special Scientific Interest: Sites designated by Natural England under the Wildlife and Countryside Act 1981.

SuDS (Sustainable Drainage Systems)

A sequence of water management practices and facilities designed to drain surface water in a manner that will provide a more sustainable approach than more conventional practices, such as routing run-off through a pipe to a watercourse.

Sustainable Development

Defined by the World Commission of Environment and Development in 1987 as 'development that meets the needs of the present without compromising the ability of future generations to meet their own needs.' Also defined in the NPPF, paragraph 8, there are three dimensions to sustainable development: economic, social and environmental.

